

Planning & Development Control Committee 3rd August 2022



Planning Applications Index

Planning & Development Control Committee 3rd August 2022

20212995

17A Duxbury Road

20220639

8 Brancaster Close

20213098

Larch Street and Longcliffe
Road

20220694

141 Upperton Road, Elms Park
View

20220424

31 Clarefield Road



Leicester
City Council

17A Duxbury Road

20212995

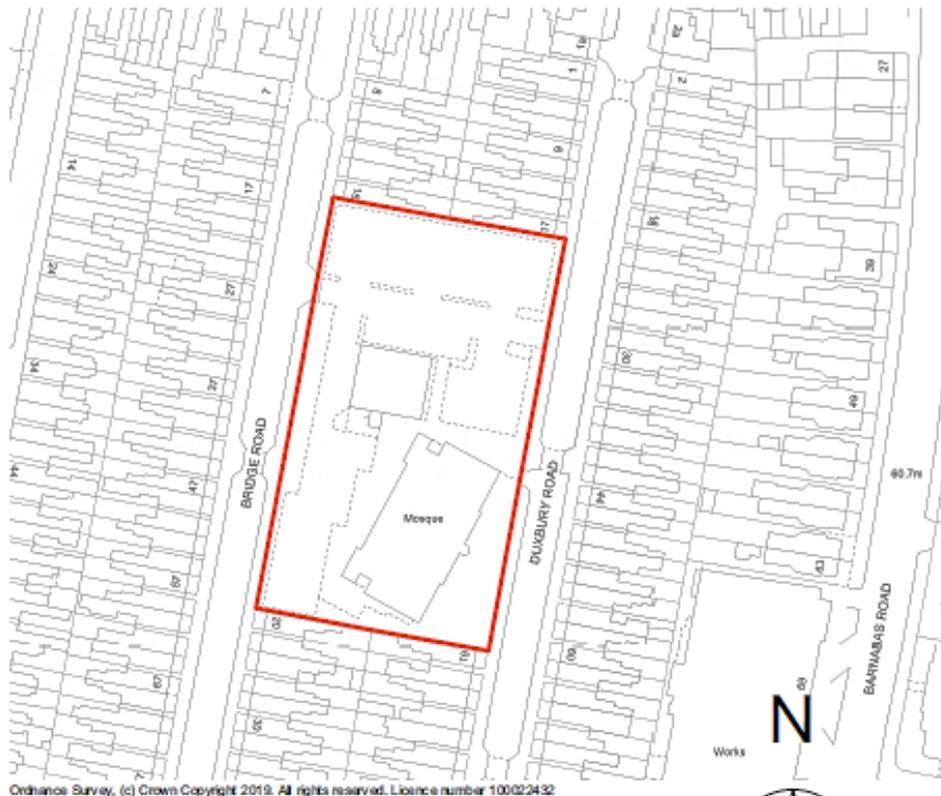
P&DCC 3rd August 2022



• This drawing MUST NOT BE SCALE

• All dimensions to be CHECKED OR DISCREPANCY reported to the AR

The site boundary shown is the L data and does NOT represent the
All dimensions in mm unless otherwise stated



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Location Plan
1:1250



01/20/2020

20212995
Location plan



[CLICK - 3D VIEW](#)

20212995
17A Duxbury Road



20212995

Place of worship and Community Centre buildings- Entrance on Duxbury Road



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Place of worship building adj to house 19 Duxbury Road- East elevation -Duxbury Road



20212995

Community Centre building- Duxbury Road



20212995

Community Centre building- TPO trees - Bridge Road



20212995

Place of worship building- from Bridge Road



20212995

South elevation of Place of worship building- Location of single storey extension



20212995

North elevation of buildings- view from car park / 17 Duxbury Road & 18 Bridge Road



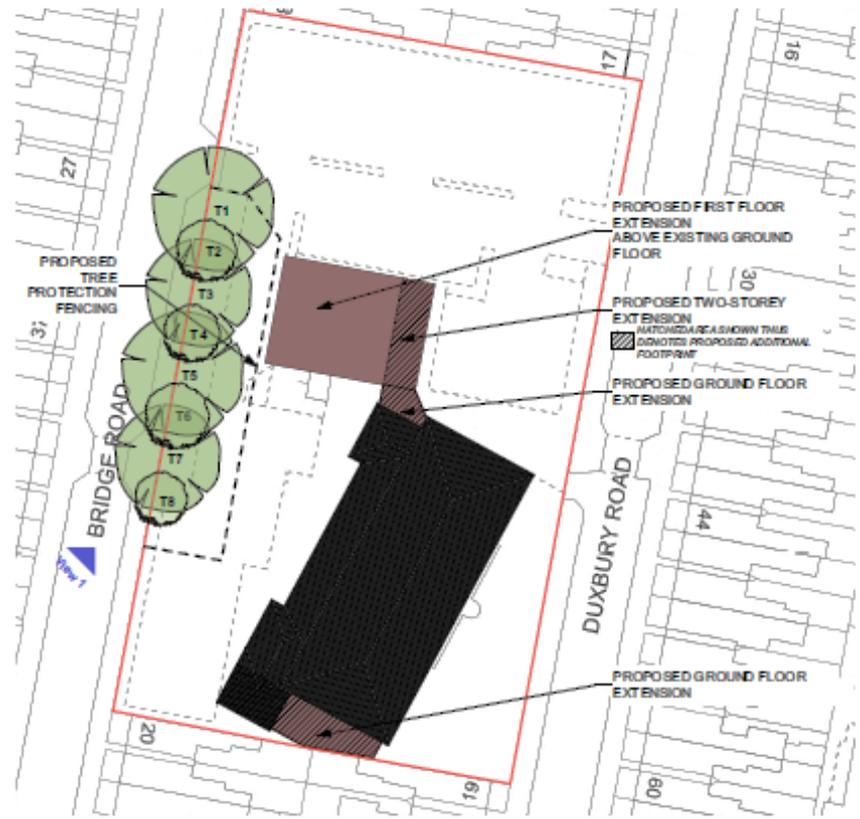
20212995

North and West elevations of community centre – looking towards Duxbury Road



20212995

East elevation where the link extension will connect both the buildings – viewed from Duxbury Road



Existing tree survey and tree protection plan
1:150



Existing tree survey and tree protection plan
1:350

Tree No.	Common Name
1	London Plane
2	Ulm
3	London Plane
4	Ulm
5	London Plane
6	Ulm
7	London Plane
8	Ulm

The trees indicated on site plan are covered by a Tree Preservation Order.

The trees are all permanently enclosed within security fencing and vertical steel railings along the Bridge Road frontage. The areas under the trees comprise an existing tarmac paving with a narrow strip of consolidated soil approximately 1500mm wide fronting the security fencing.



View 1

The proposed extension to Community Centre building will not be extended towards the existing trees. Therefore, the proposal will not have an implication on the tree's root zone. The continuation of the existing paved areas and permanent fencing all of which will be retained will protect the tree trunks and their root zones.



Tree protection area - Protective fencing
All protective fencing to comply with BS 5837:2012

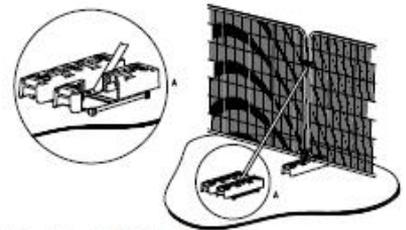
Tree Protection Fencing

A temporary Tree Protection Fencing is proposed to protect existing canopies of the trees throughout the construction period. The proposed Tree Protection Fencing will perform the function of preventing site traffic using the areas under the tree canopies and also to prevent material storage within this area.

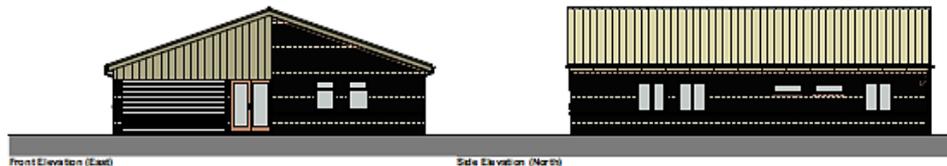
The fence is to consist of 2m tall welded mesh panels on rubber or concrete feet shall be installed as per site plan to provide an adequate level of protection from cars, vans, pedestrians and manually operated plant. In such cases the fence panels should be joined using a minimum of two anti-tamper couplers installed so that they can only be removed from inside the fence. The distance between the fence couplers should be at least 1m and should be uniform throughout the fence. The posts should be supported on the inner side by stabilizer struts mounted on a block tray.

BRITISH STANDARD

BS 5837:2012



b) Stabilizer strut mounted on block tray



Front Elevation (East)

Side Elevation (North)

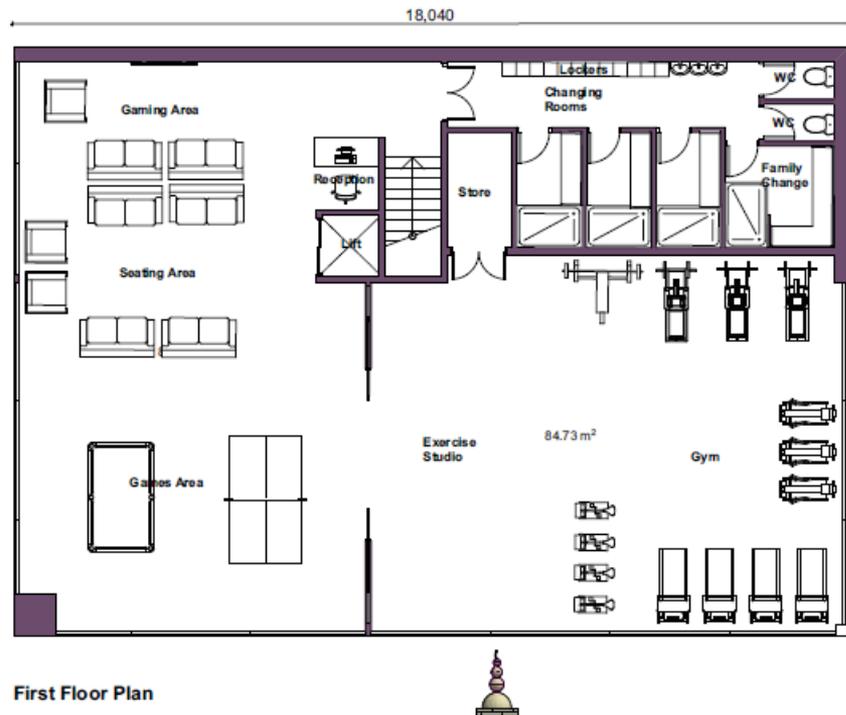


Ground Floor Plan



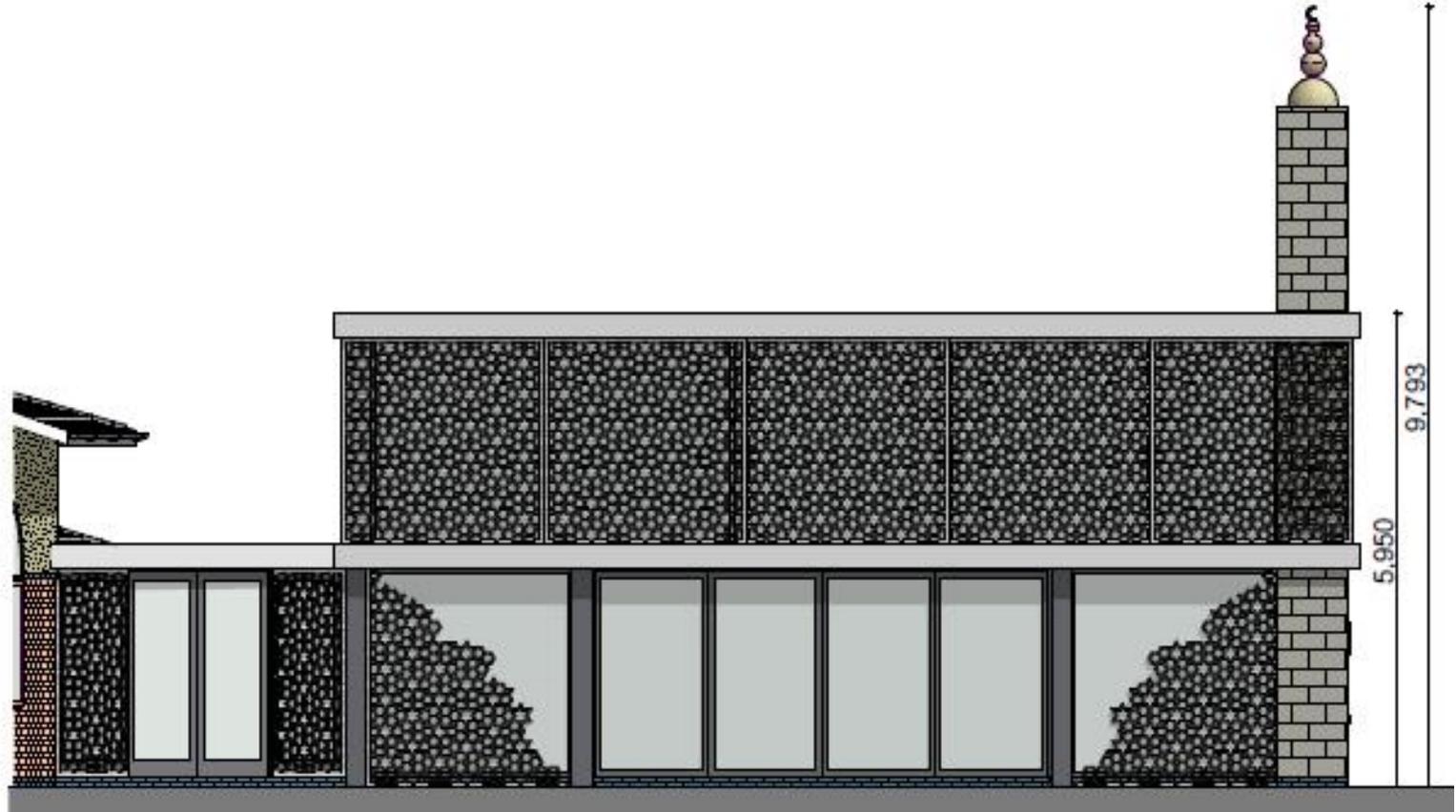
Rear Elevation (West)

Side Elevation (South)



20212995

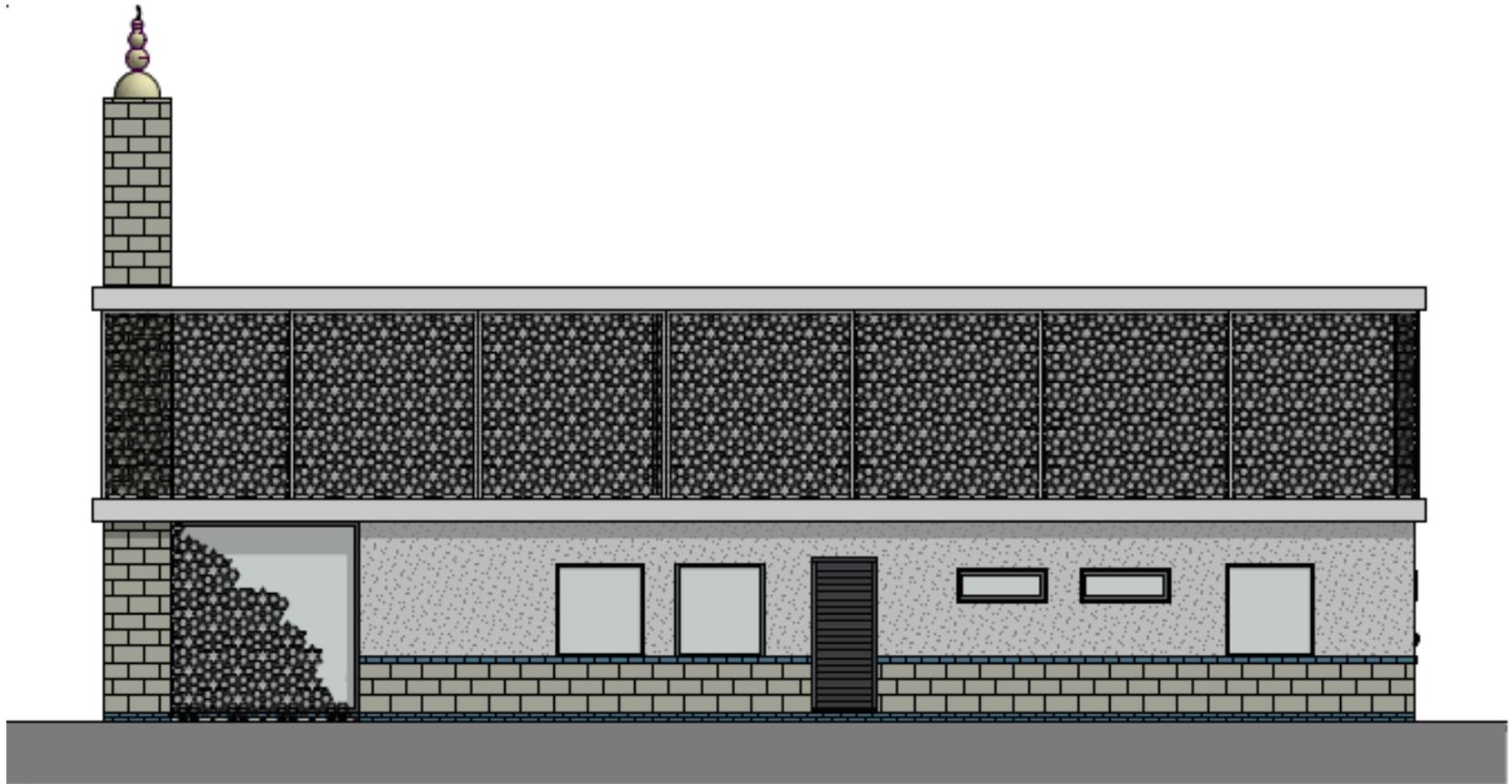
Proposed Ground floor and first floor plans of community centre



5.950
9.793

20212995

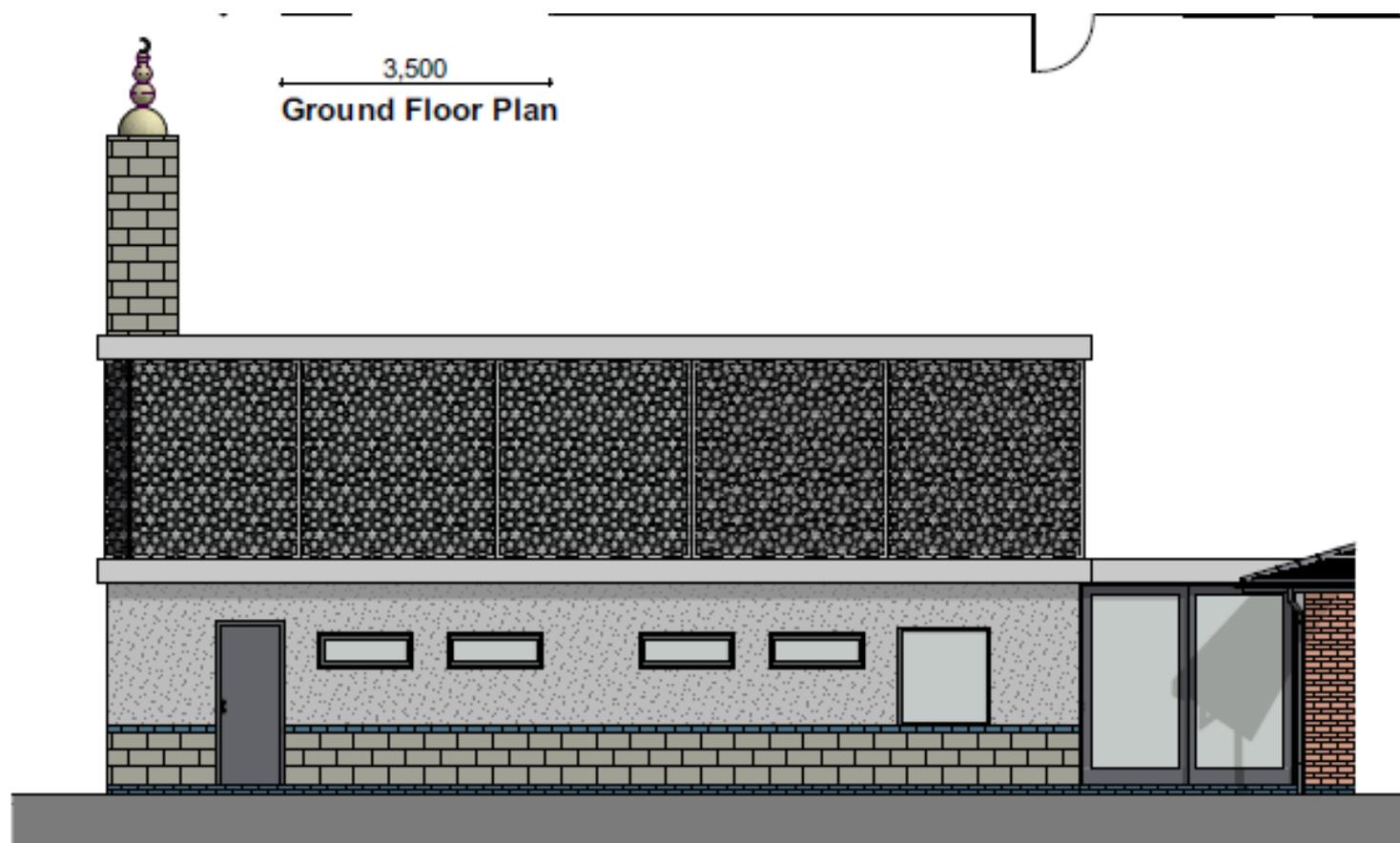
Front (east) elevation of Community Centre viewed from Duxbury Road



Side Elevation (North)

20212995

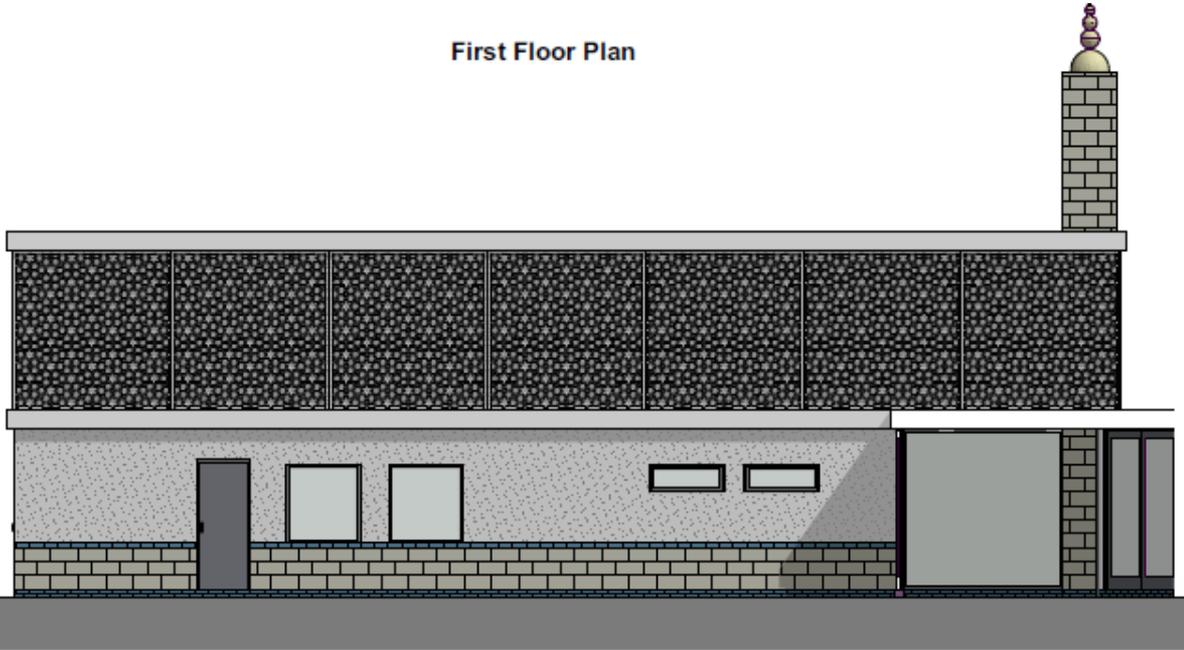
Side (north) elevation looking towards 17 Duxbury Road and 18 Bridge Road



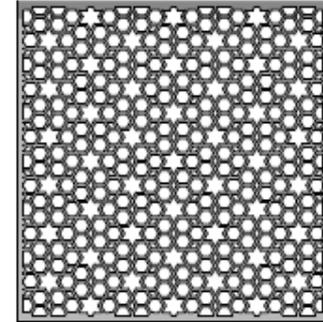
20212995

Rear (west) elevation – view from Bridge Road

First Floor Plan



Side Elevation (South)

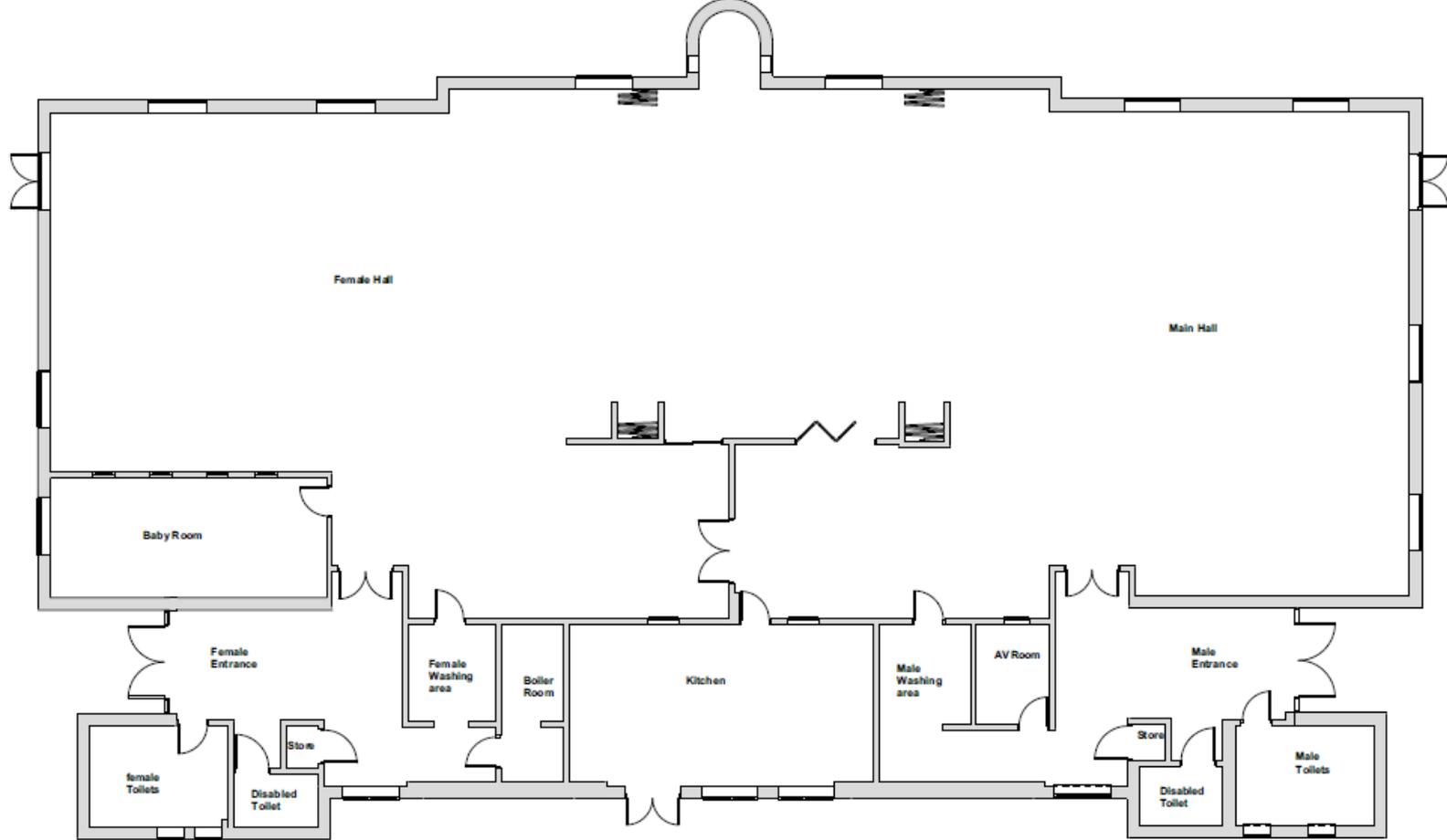


Mashribiya Panel Detail
1:50

Mashribiya Panel to be
5mm laser cut aluminium

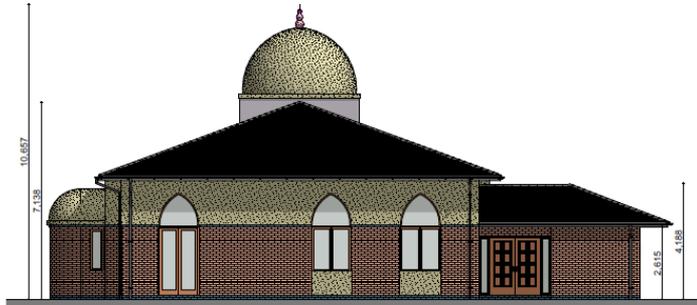


Indicative Visual (NTS)

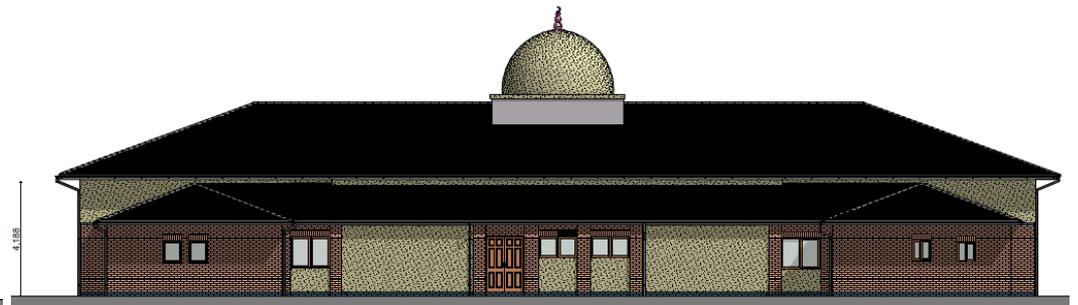


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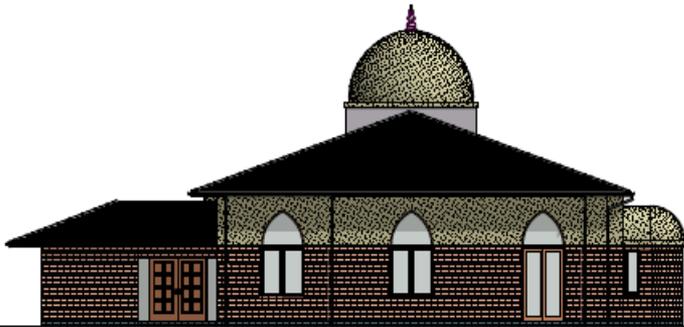
Existing floor plan of Place of Worship



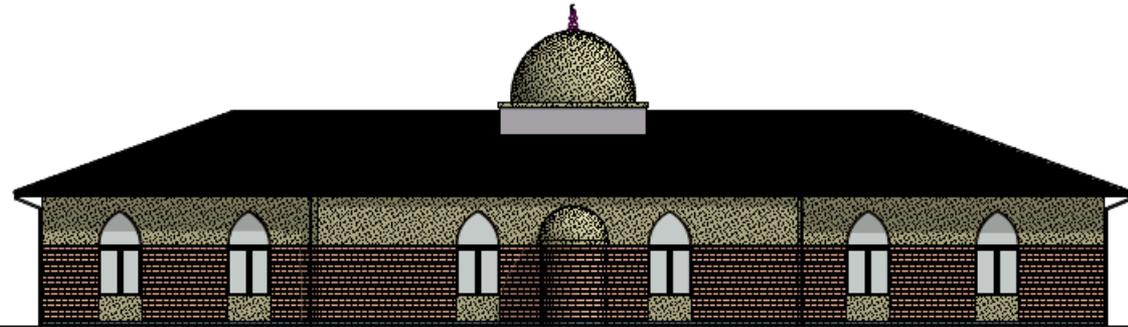
Front Elevation (North)



Side Elevation (West)



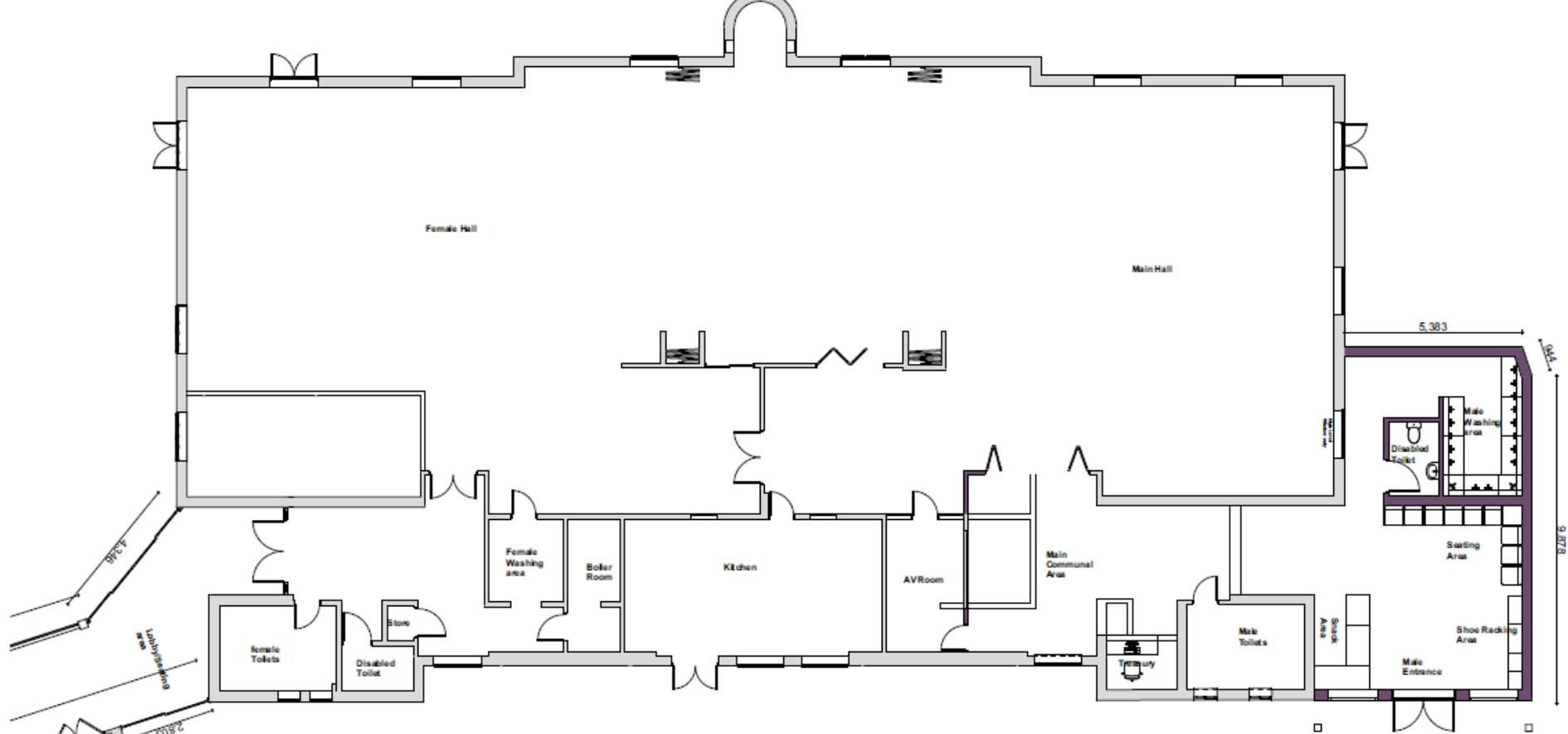
Rear Elevation (South)



Side Elevation (East)

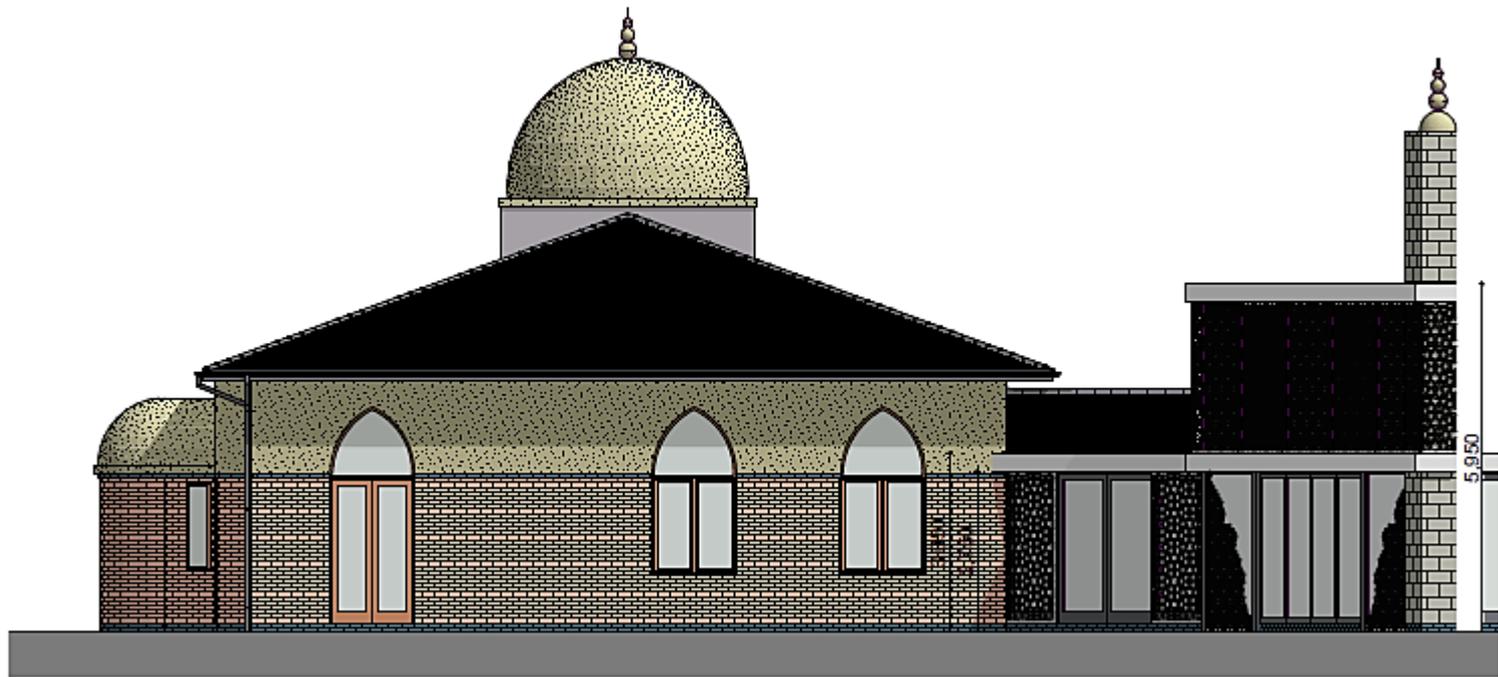
20212995

Existing elevations of Place of Worship



20212995

**Proposed place of worship ground floor plans- Single storey extension adj to house at 20
Bridge Rd & 19 Duxbury Rd**

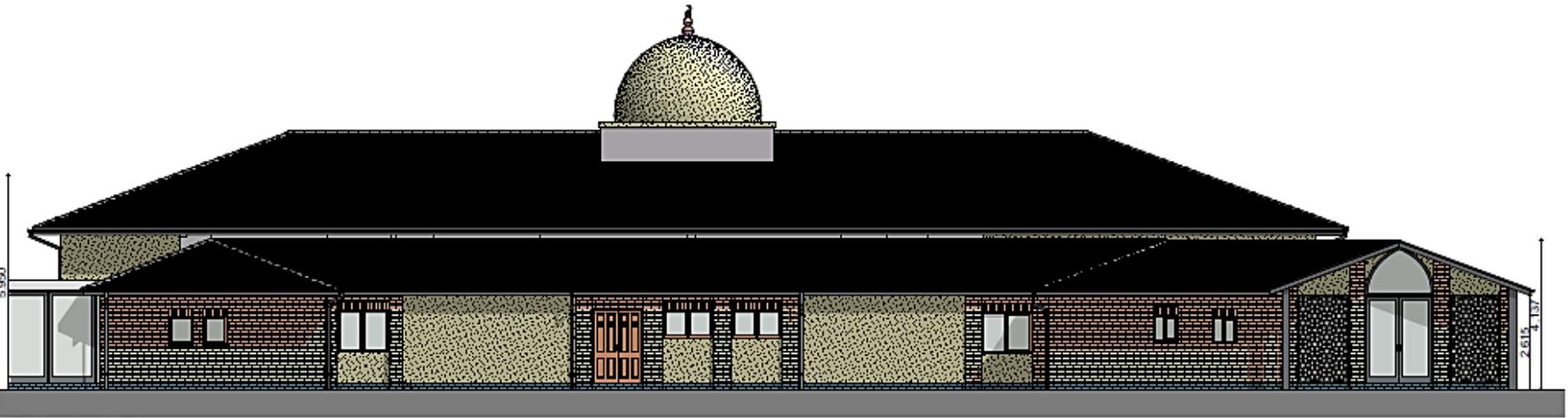


Front Elevation (North)

Sid

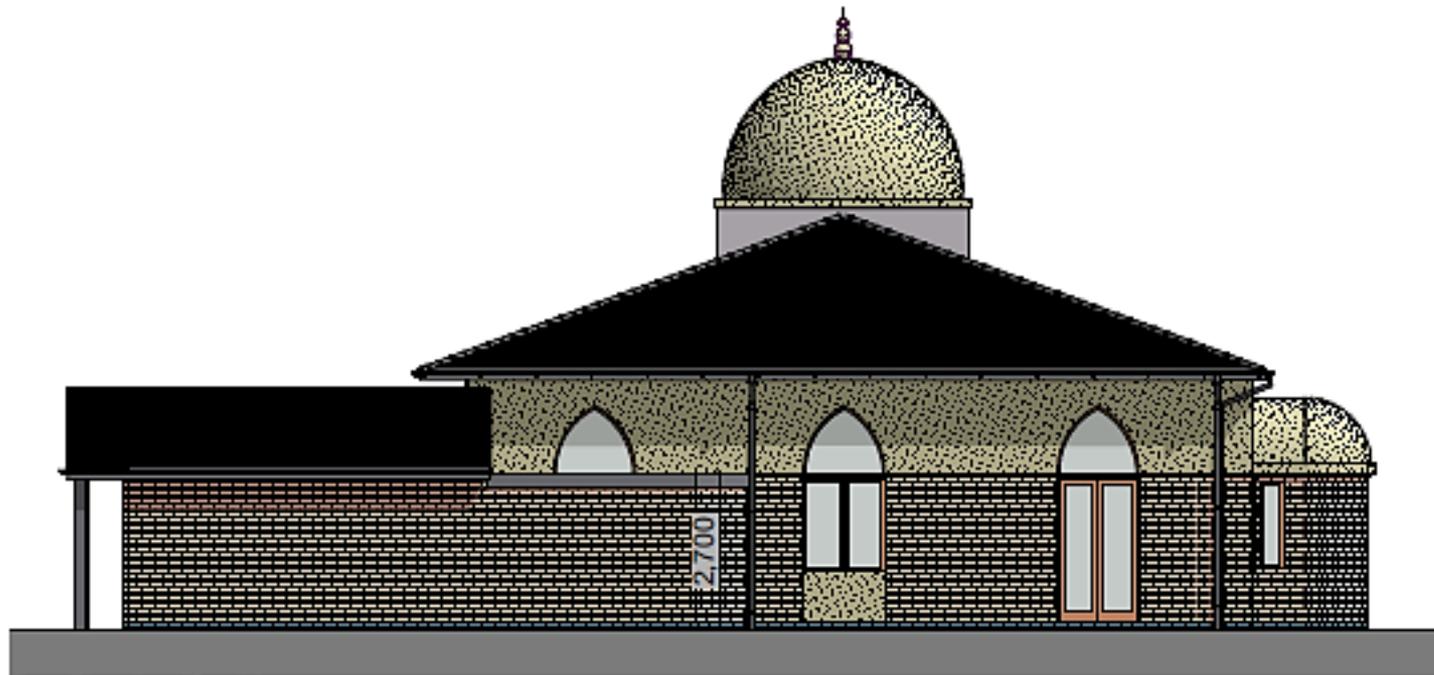
20212995

North elevation – Both buildings



Side Elevation (West)

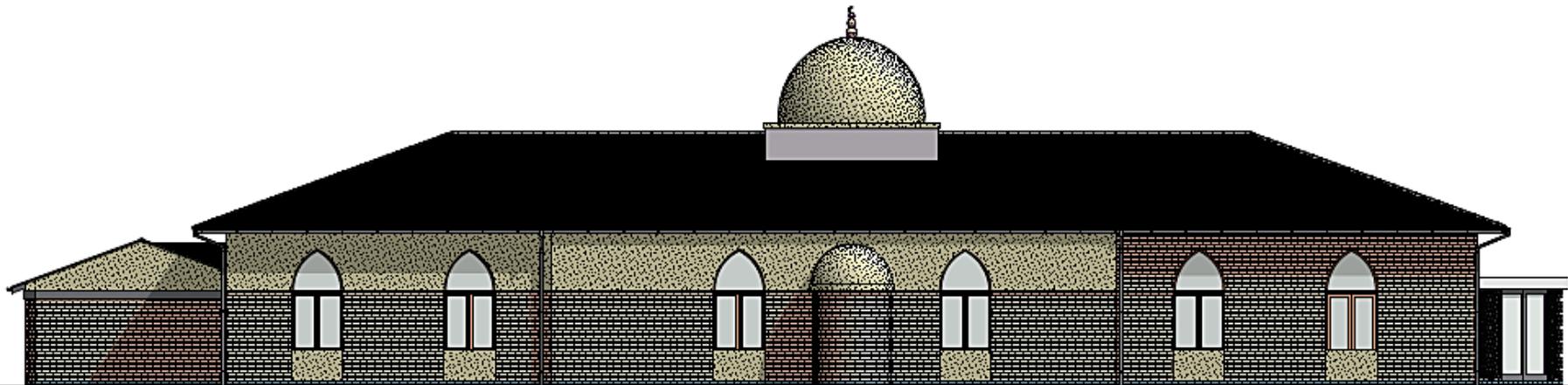
20212995
West elevation showing single storey extension to Place of worship



Rear Elevation (South)

20212995

South elevation showing single storey extension to Place of worship



Side Elevation (East)

20212995

East elevation -Place of worship



Larch Street and Longcliffe Road

20213098

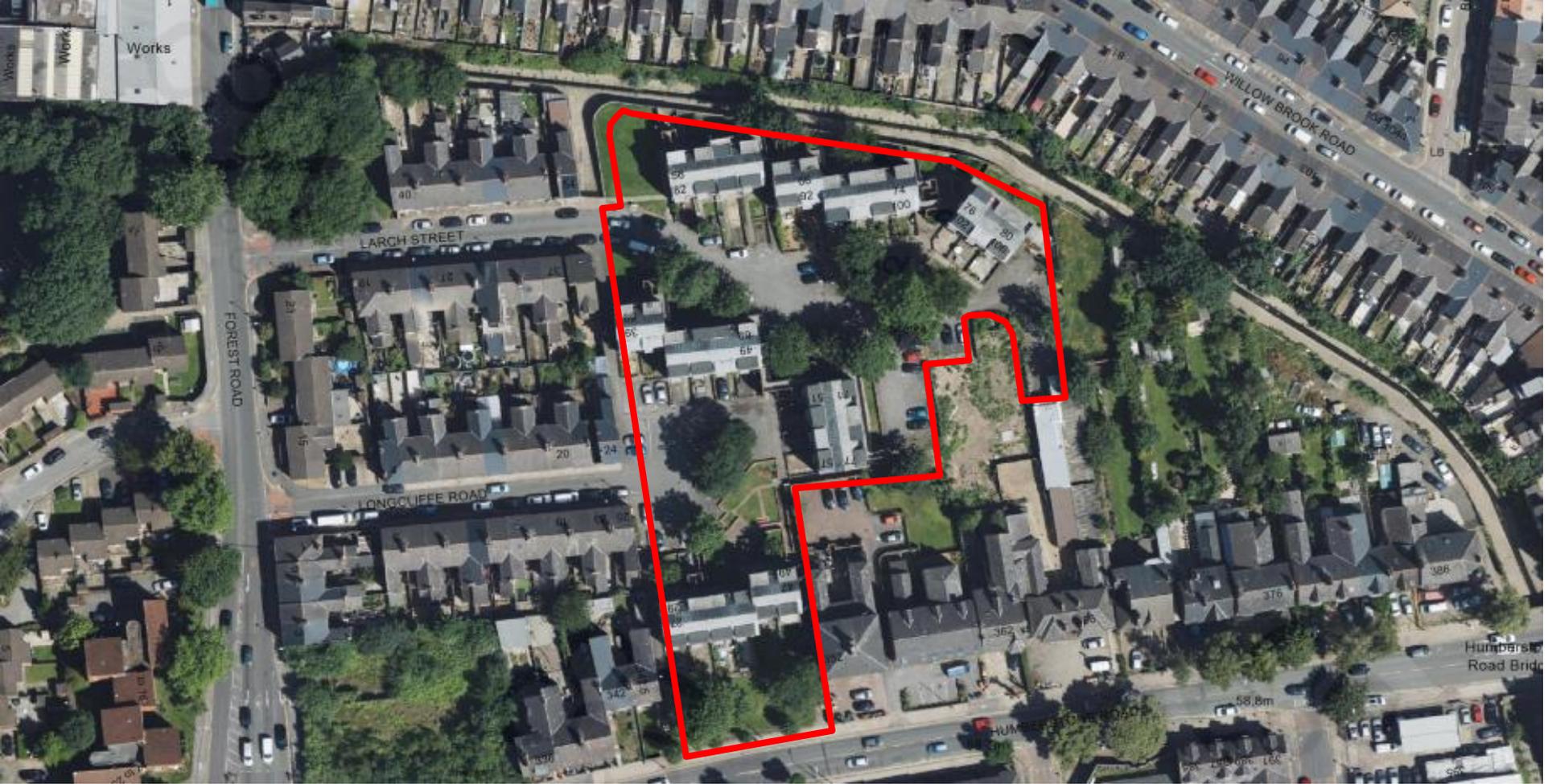
P&DCC 3rd August 2022





20213098

Larch Street and Longcliffe Road



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20213098
Larch Street and Longcliffe Road



Views of 43-69 Larch Street looking North

20213098
Larch Street and Longcliffe Road



Views of 76, 78, 89, 102 and 104 adjacent to Willow Brook

**20213098
Larch Street and Longcliffe Road**



Views of 35 – 45 Longcliffe Road from the South

20213098

Larch Street and Longcliffe Road



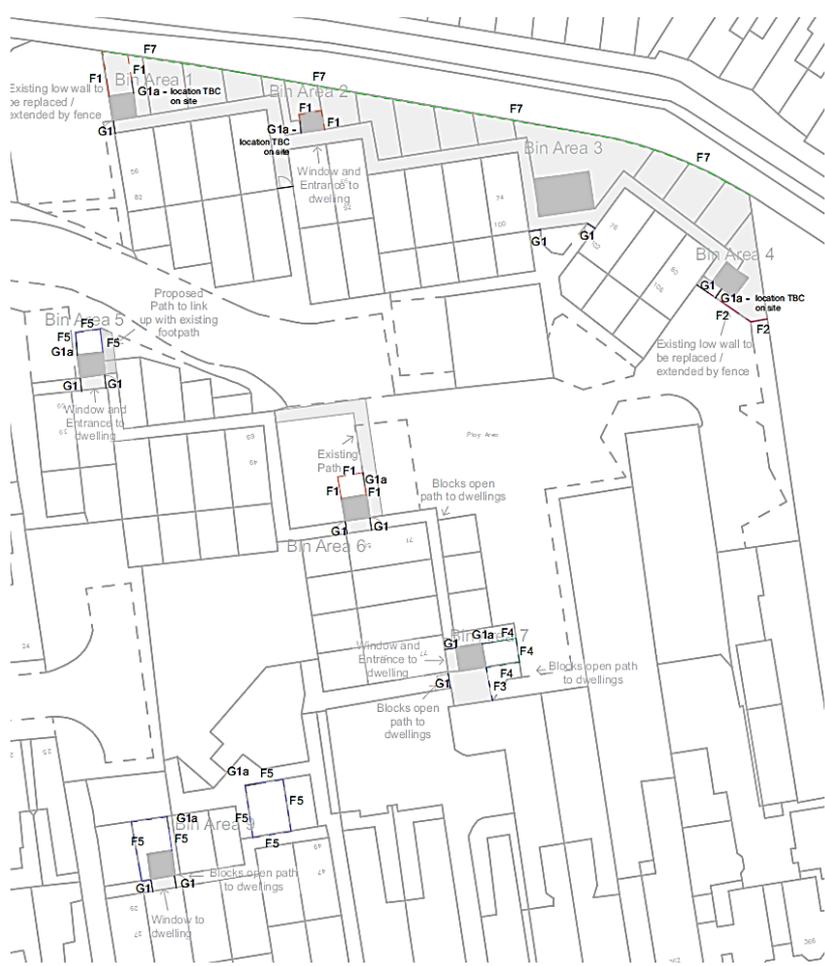
Views of bin store outside 56 and 82 Larch Street
looking west

20213098
Larch Street and Longcliffe Road

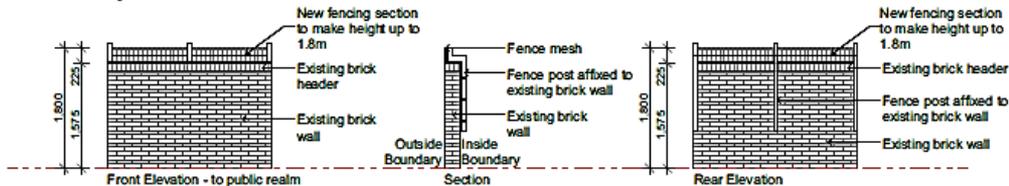


**View from larch street looking north showing development
implemented from Application 20181900**

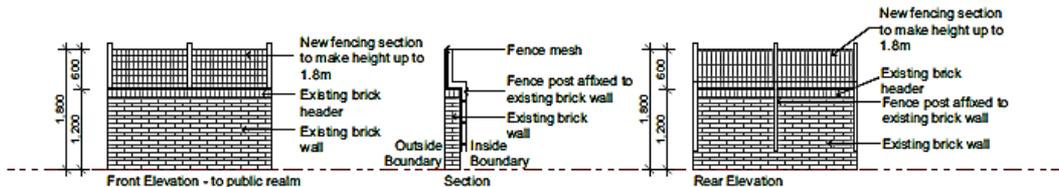
**20213098
Larch Street and Longcliffe Road**



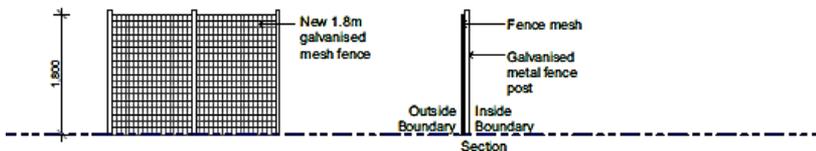
Boundary Treatment



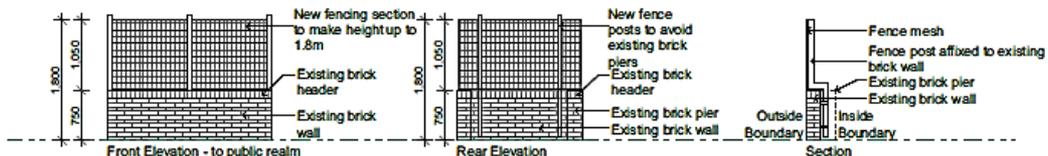
F1 1800mm Brick and Galvanised mesh fence



F2 1800mm Brick and Galvanised mesh fence



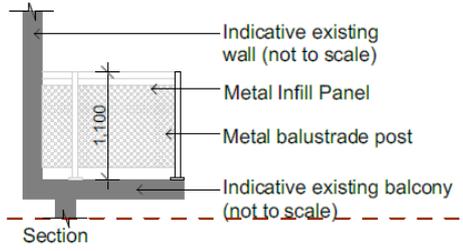
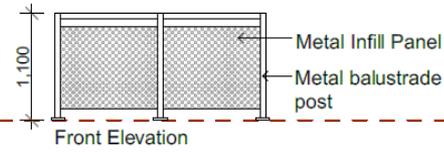
F3 1800mm Galvanised Mesh Fencing



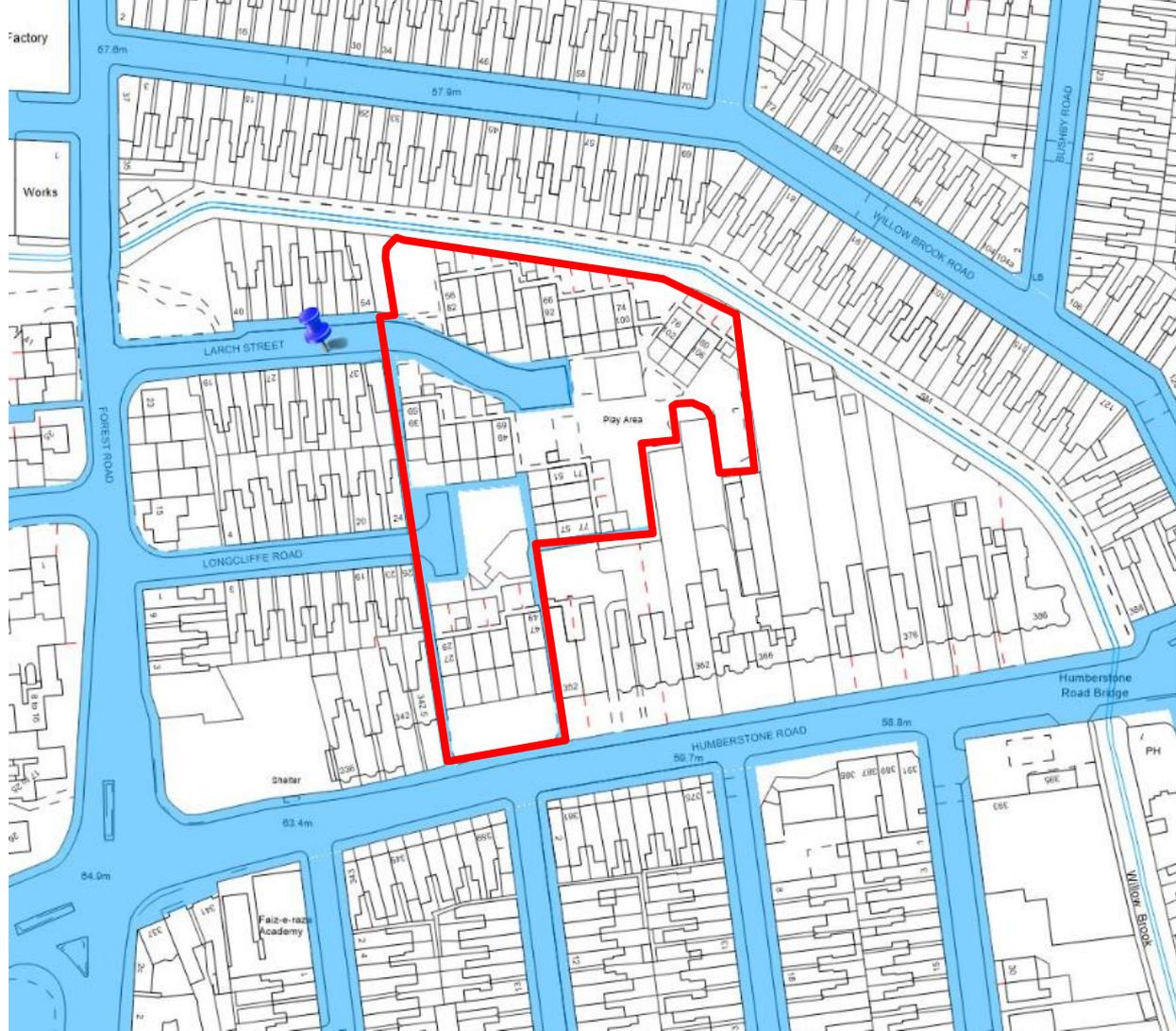
F4 1800mm Brick wall with piers and galvanised mesh fence



- Key:
- Area securely enclosed with gate access.
 - Stair / Bin Area
 - Proposed location of fence
 - Proposed gated access



B1 1100mm Metal Infill Panel balustrade



31 Clarefield Road

20220424

P&DCC 3rd August 2022





20220424

31 Clarefield Road



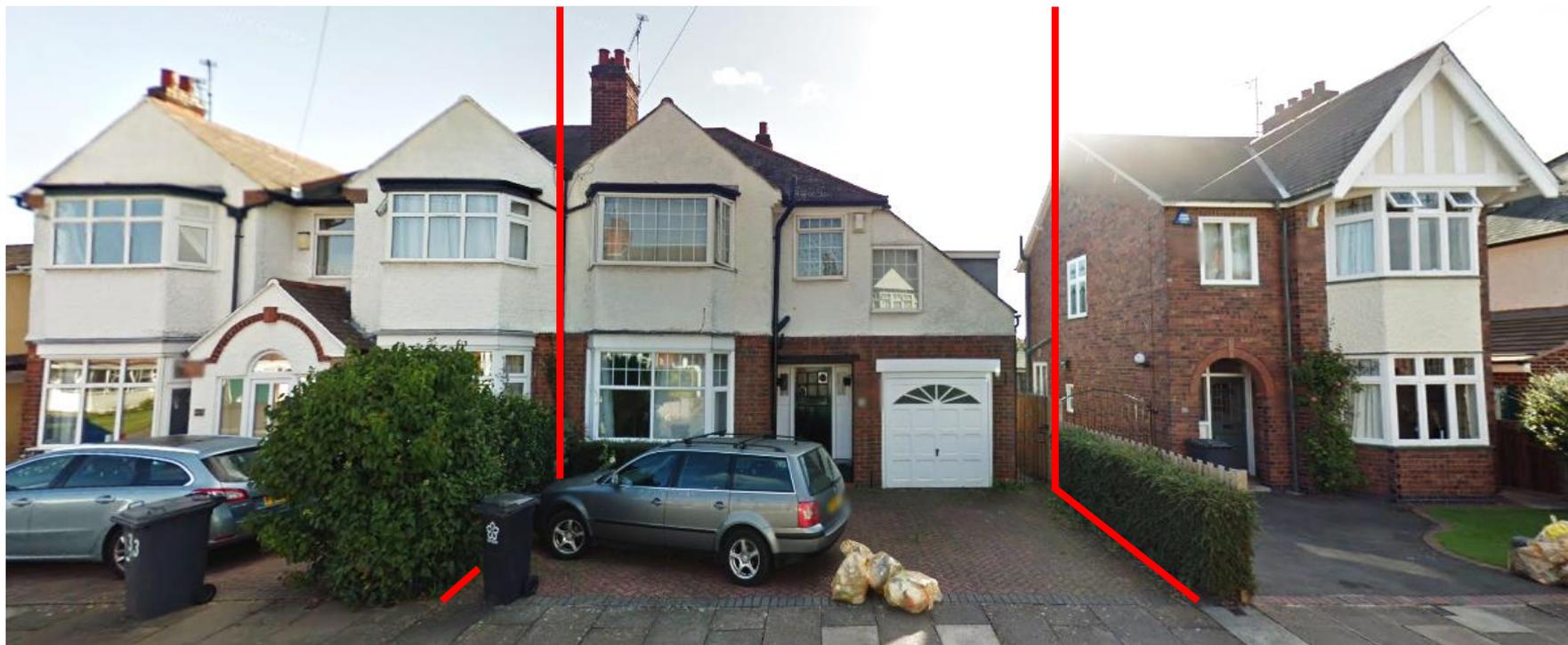
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1:500 at A4

[CLICK - 3D VIEW](#)

20220424
31 Clarefield Road



Front elevation

20220424
31 Clarefield Road



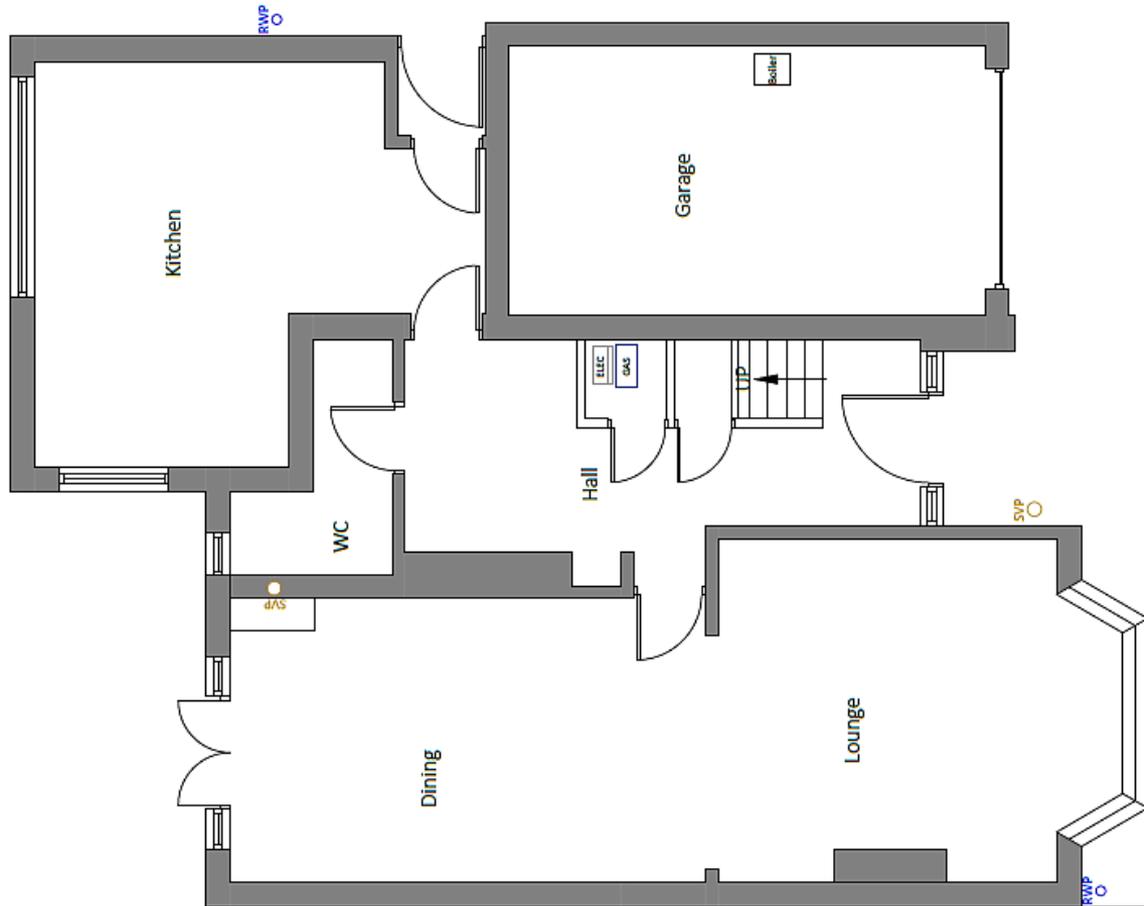
29 Clarefield Road side window locations

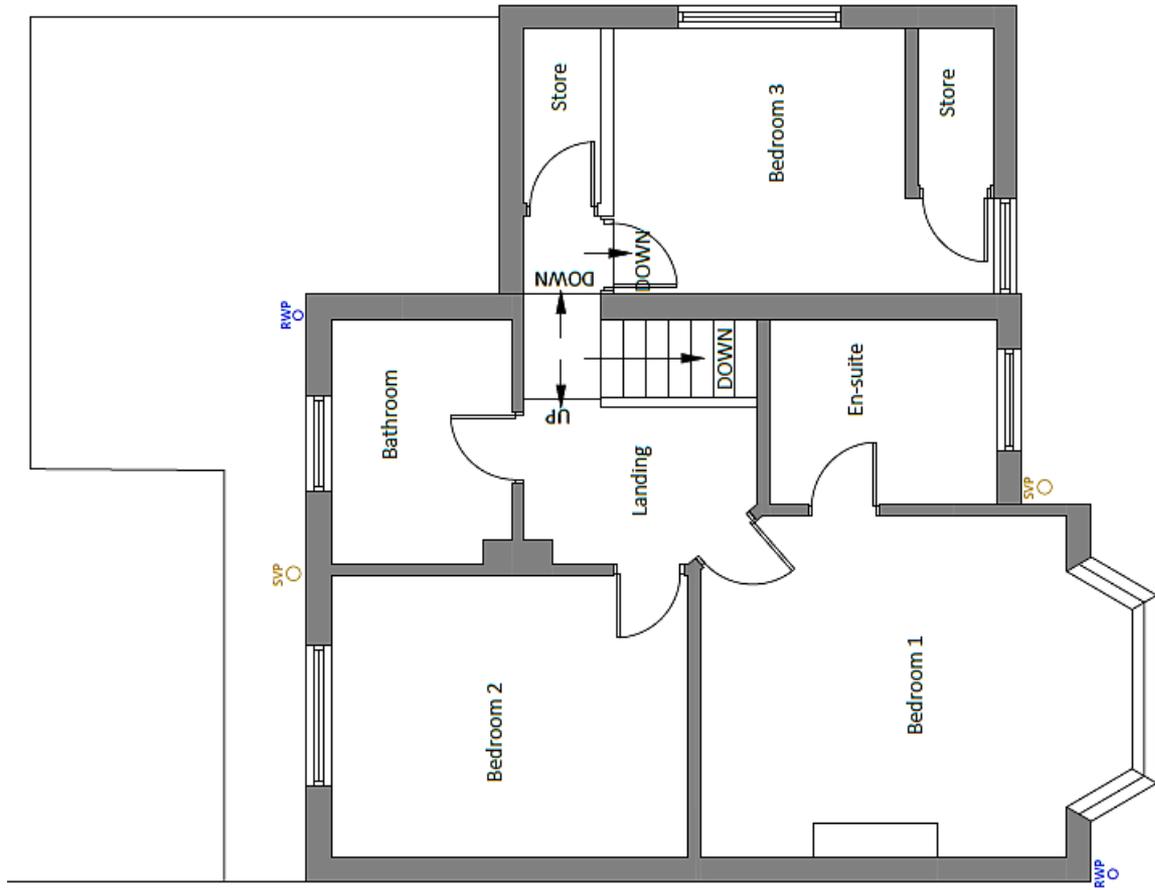
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31 Clarefield Road

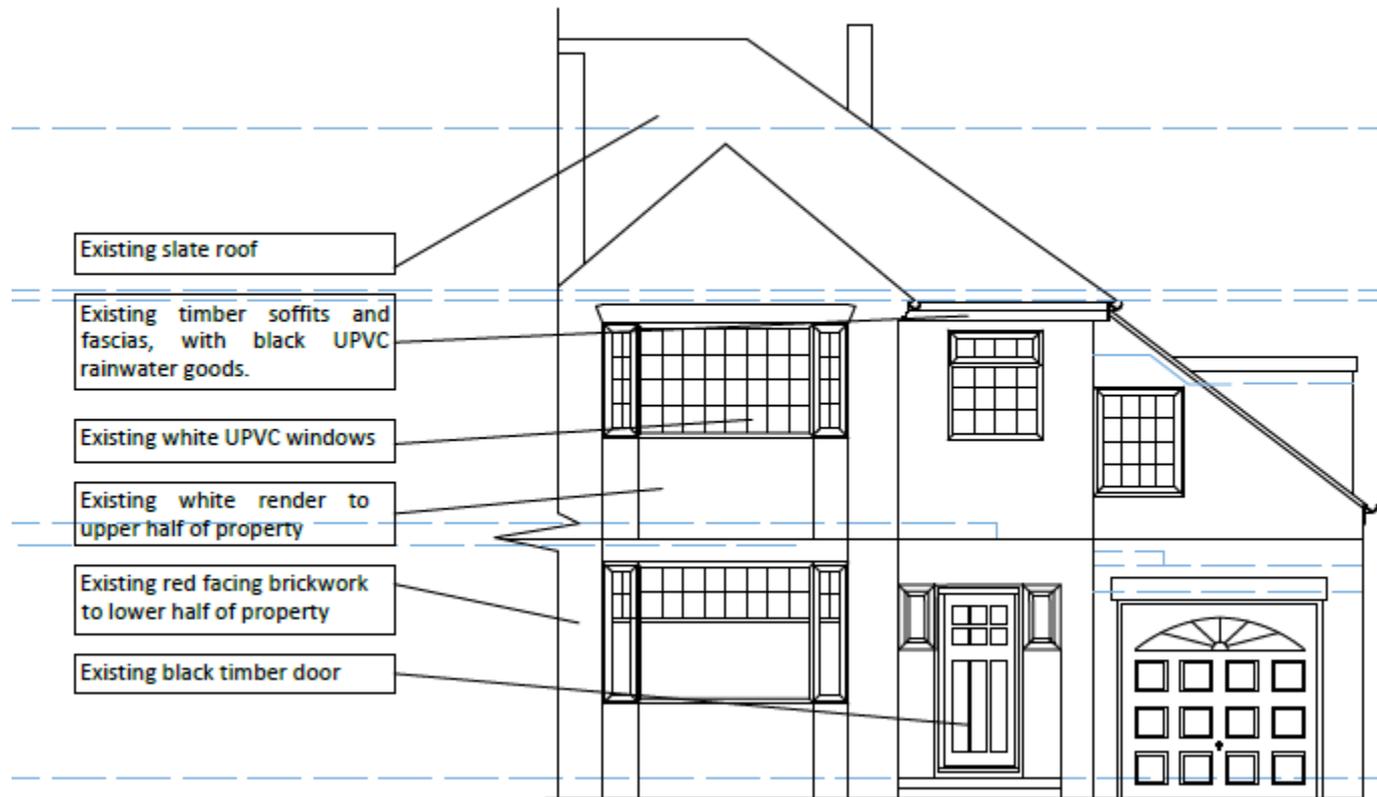


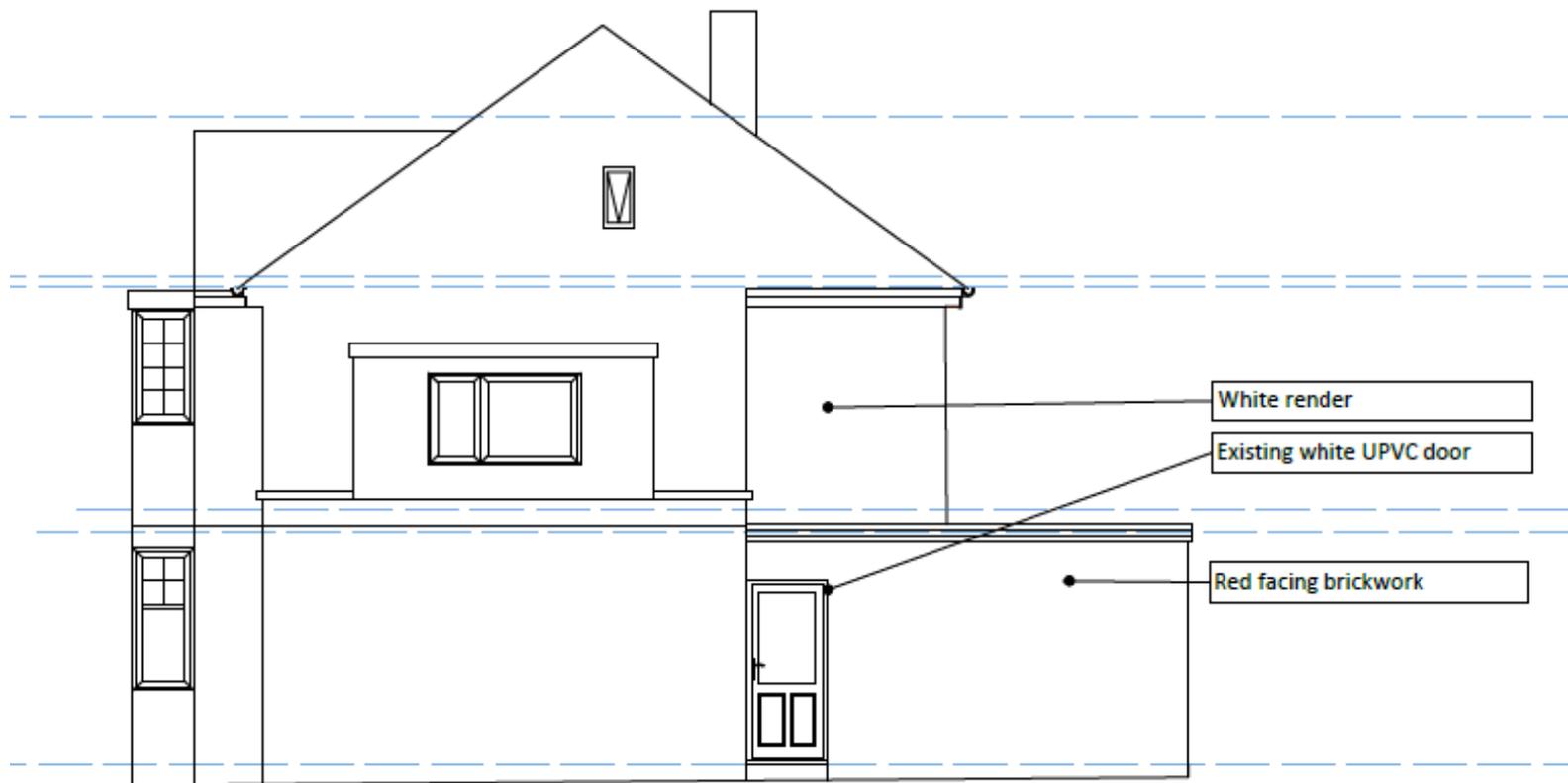
Rear elevation of application site

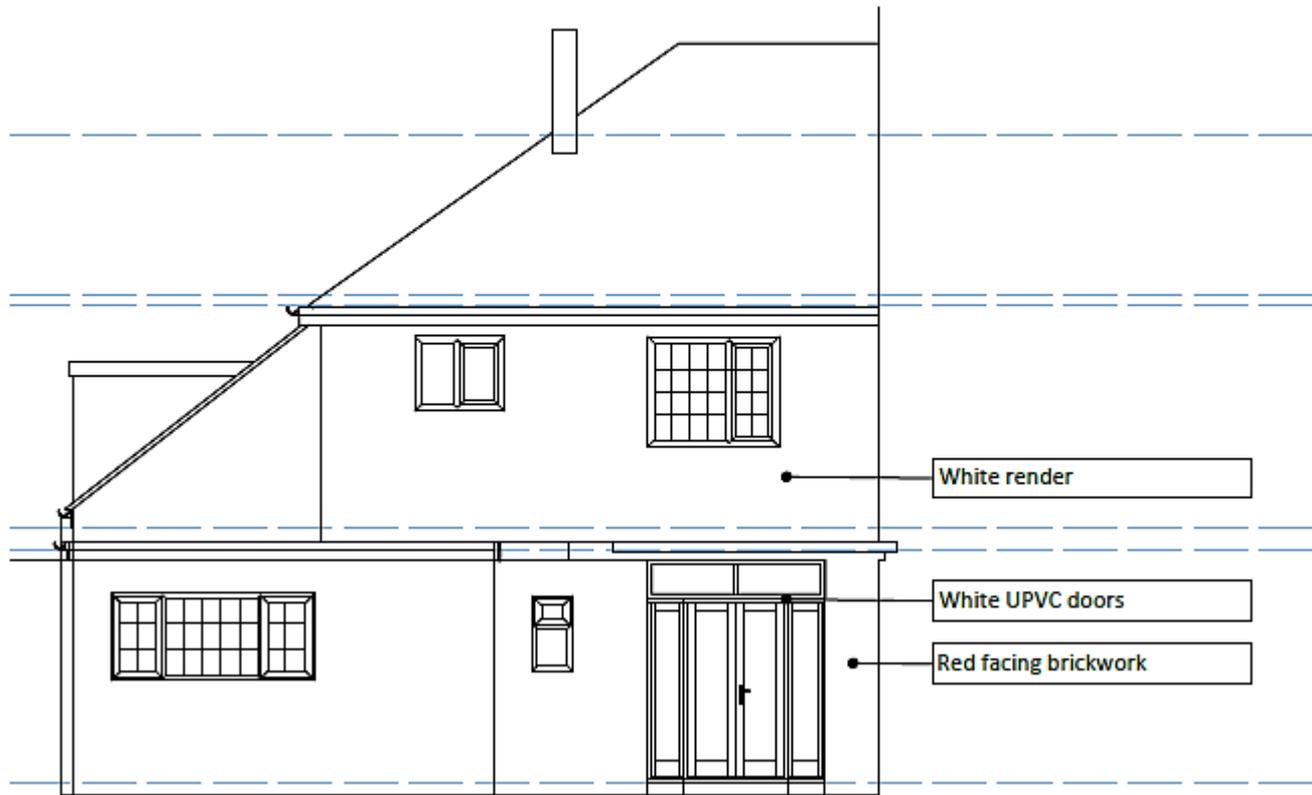
20220424
31 Clarefield Road







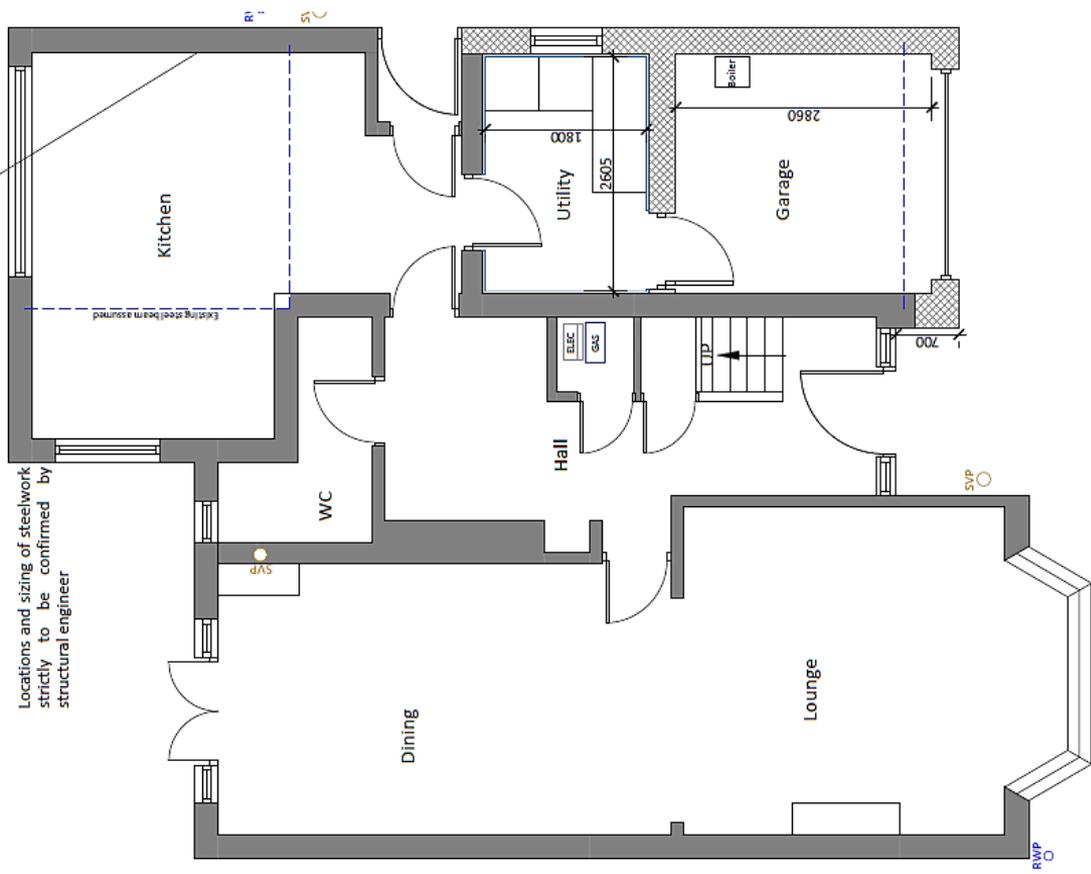


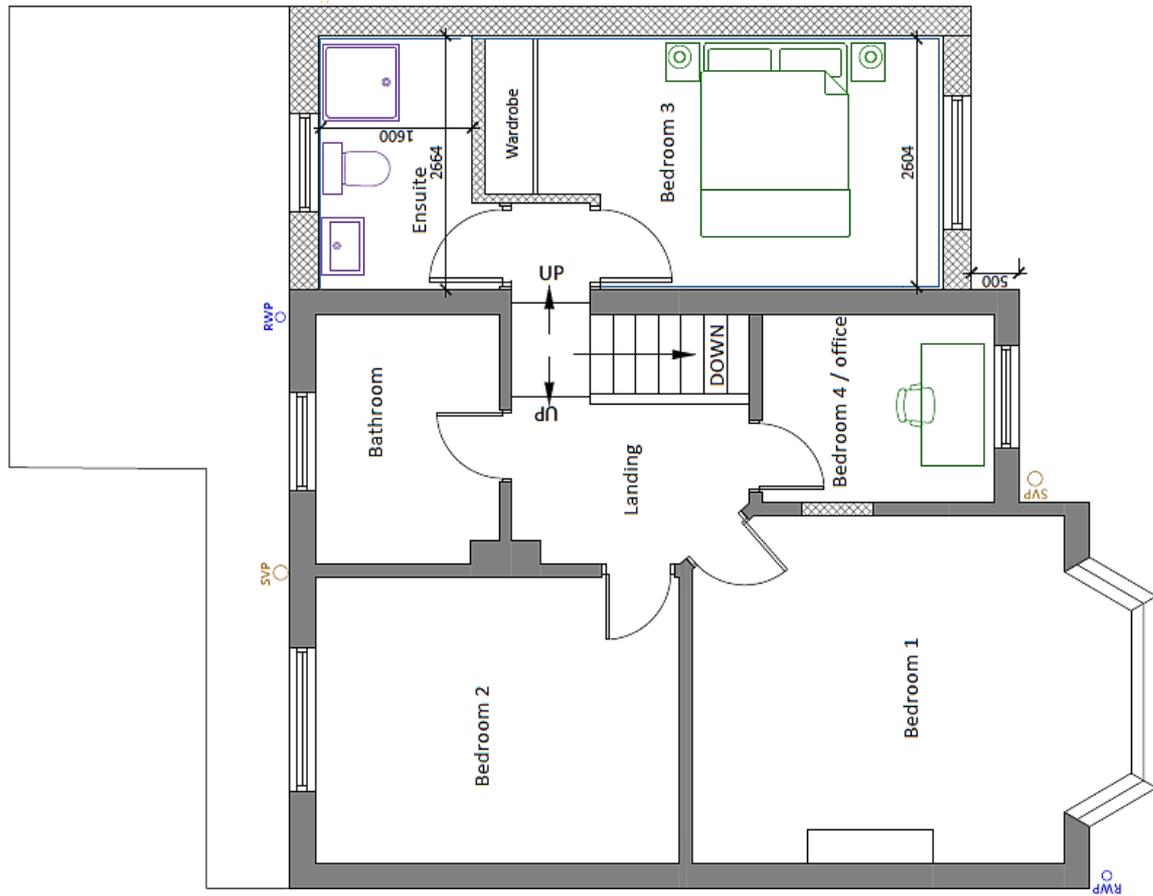


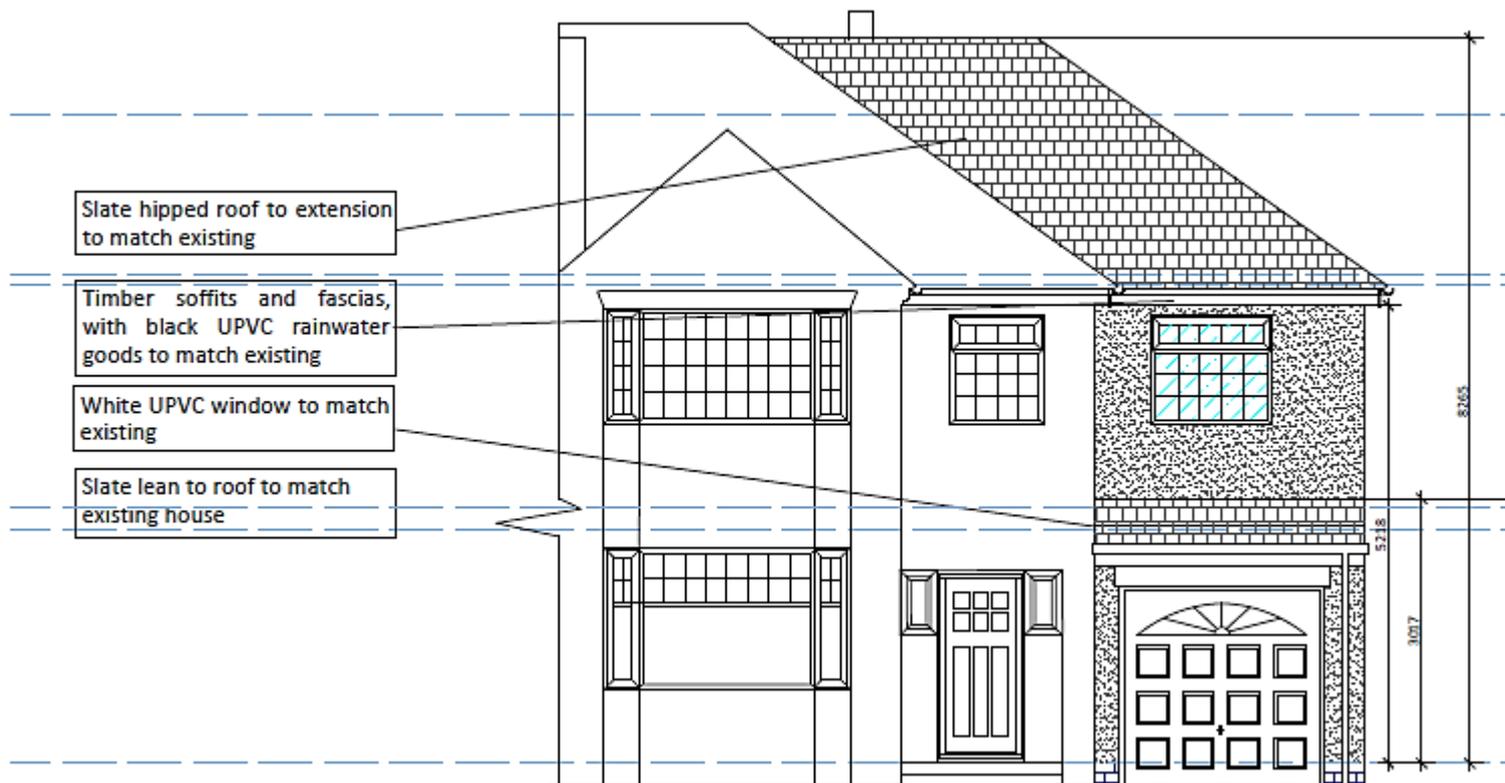
Trail hole to be arranged to determine depth of existing foundations to external wall of single storey extension. Underpinning to be arranged if required to support upper storey - underpinning strictly to be confirmed by structural engineer.

Existing below ground foul drainage locations and runs all assumed. Client to arrange CCTV drainage survey to confirm locations.

Locations and sizing of steelwork strictly to be confirmed by structural engineer







Slate hipped roof to extension to match existing

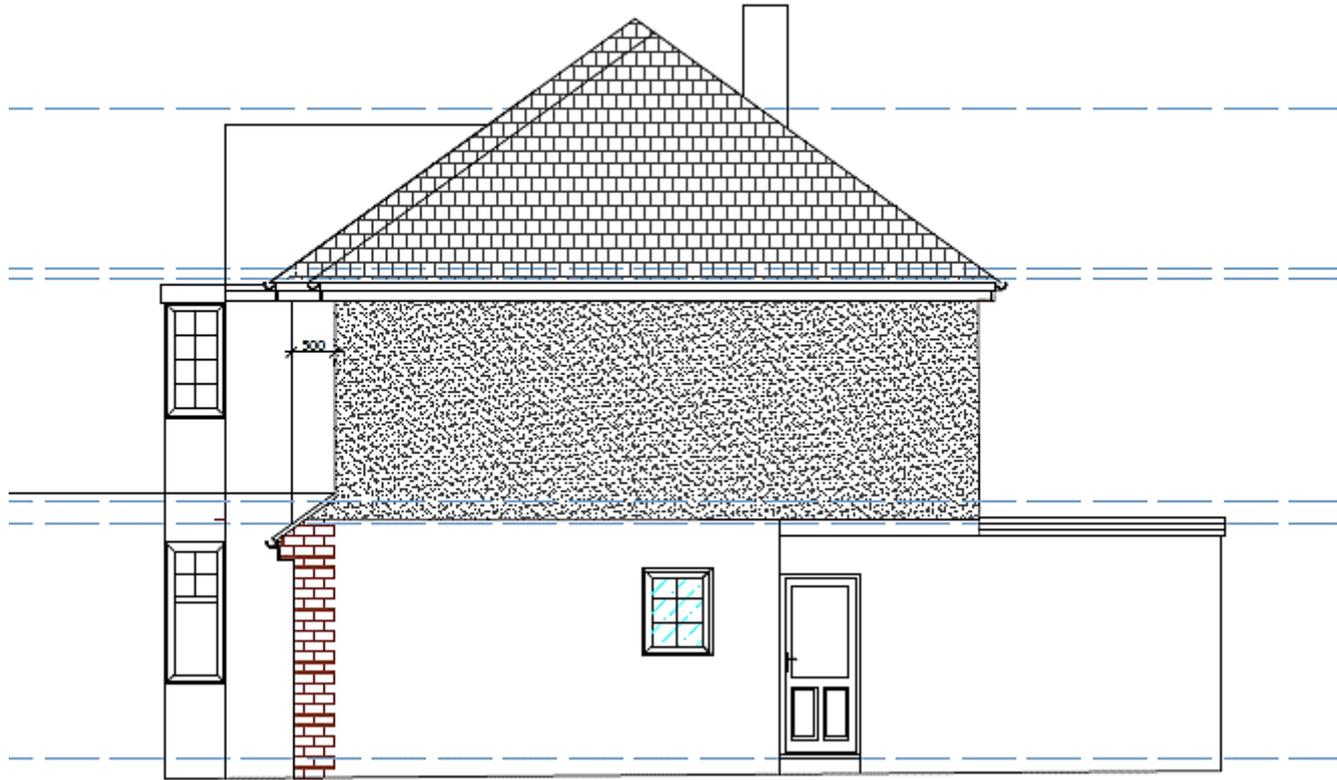
Timber soffits and fascias, with black UPVC rainwater goods to match existing

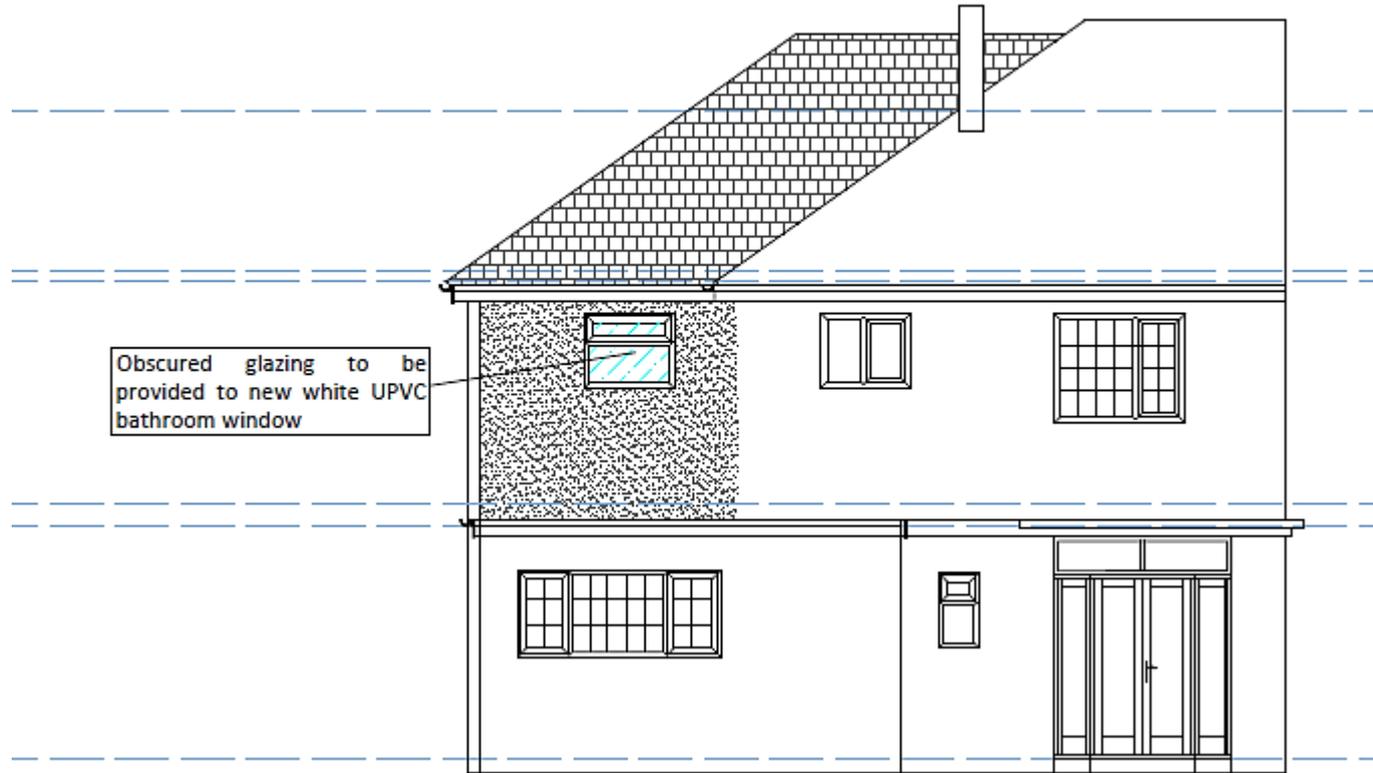
White UPVC window to match existing

Slate lean to roof to match existing house

5718

3017





Obscured glazing to be provided to new white UPVC bathroom window

20220694

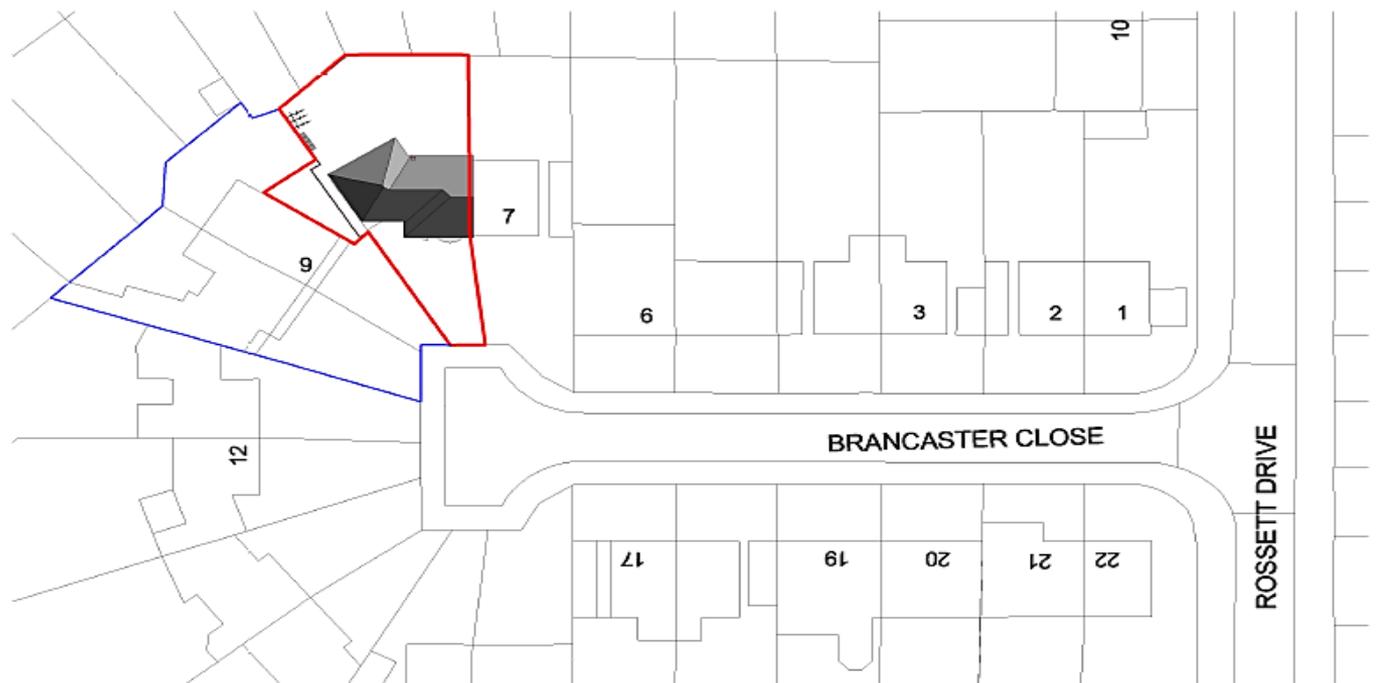
141 Upperton Road, Elms Park View

8 Brancaster Close

20220639

P2 NCC 3rd August 2022





1 Block Plan
A204 1 : 500



Front view

20220639
8 Brancaster Close



Rear view

20220639
8 Brancaster Close



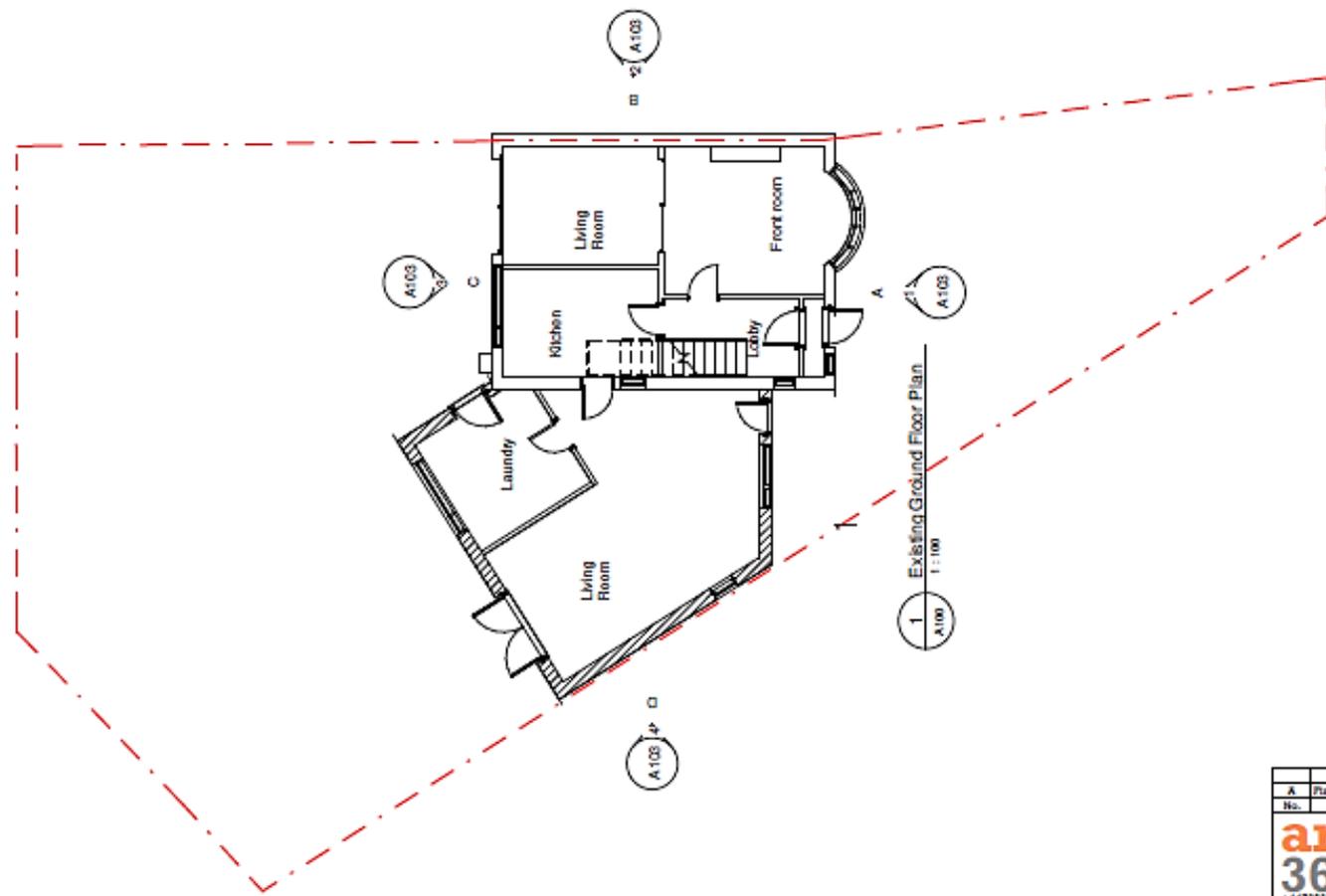
Side view towards no. 9

20220639
8 Brancaster Close



View of the Cul de sac from Rossett Drive

20220639
8 Brancaster Close

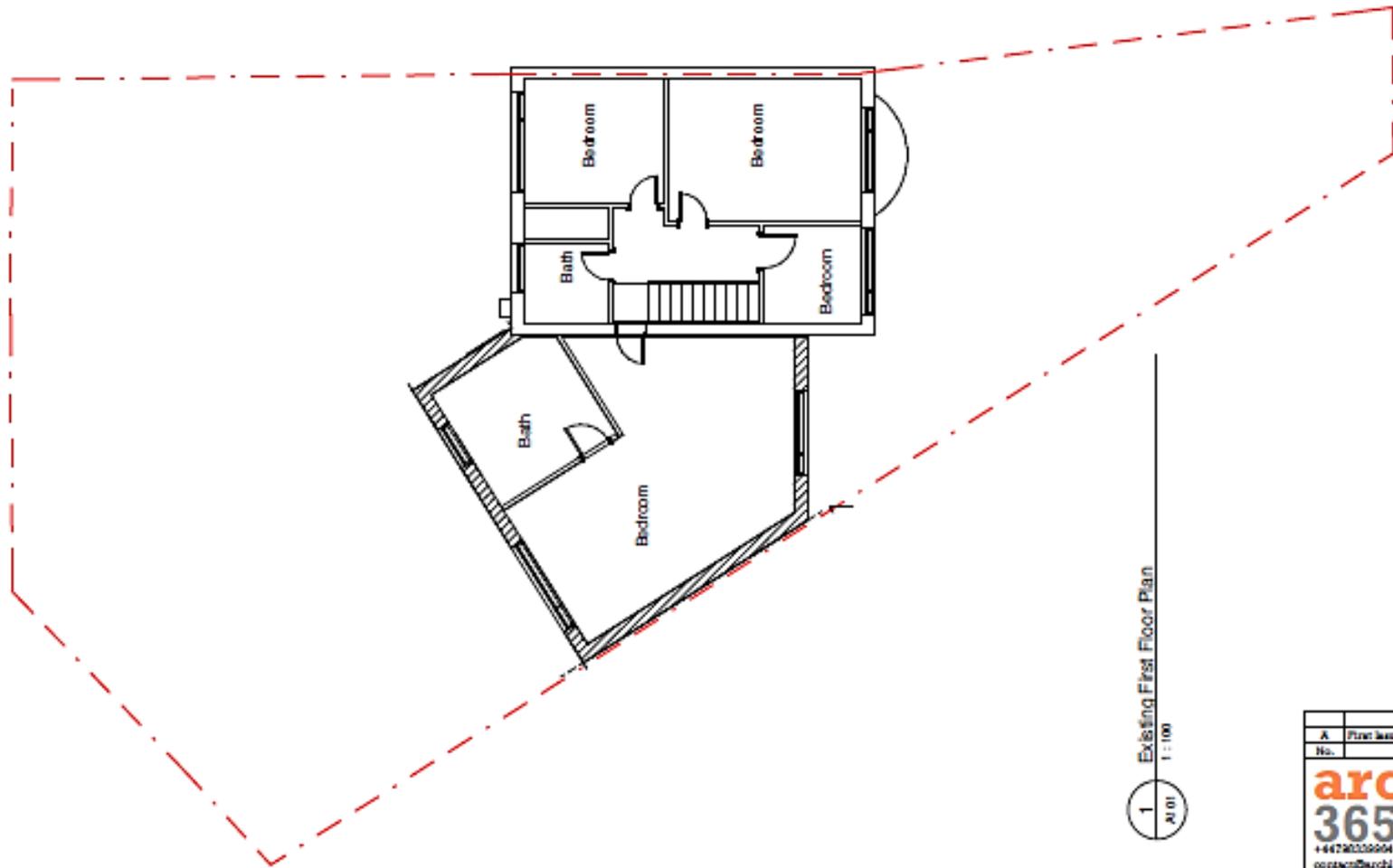


No.	First Issue	Description	Date
			07-10-2011

architecture
365
 +44730030046
 contact@architecture365.co.uk
 www.architecture365.co.uk
 20 Lynmouth Road
 Telsometer
 1793 1928

Existing ground Floor plan

20220639
8 Brancaster Close

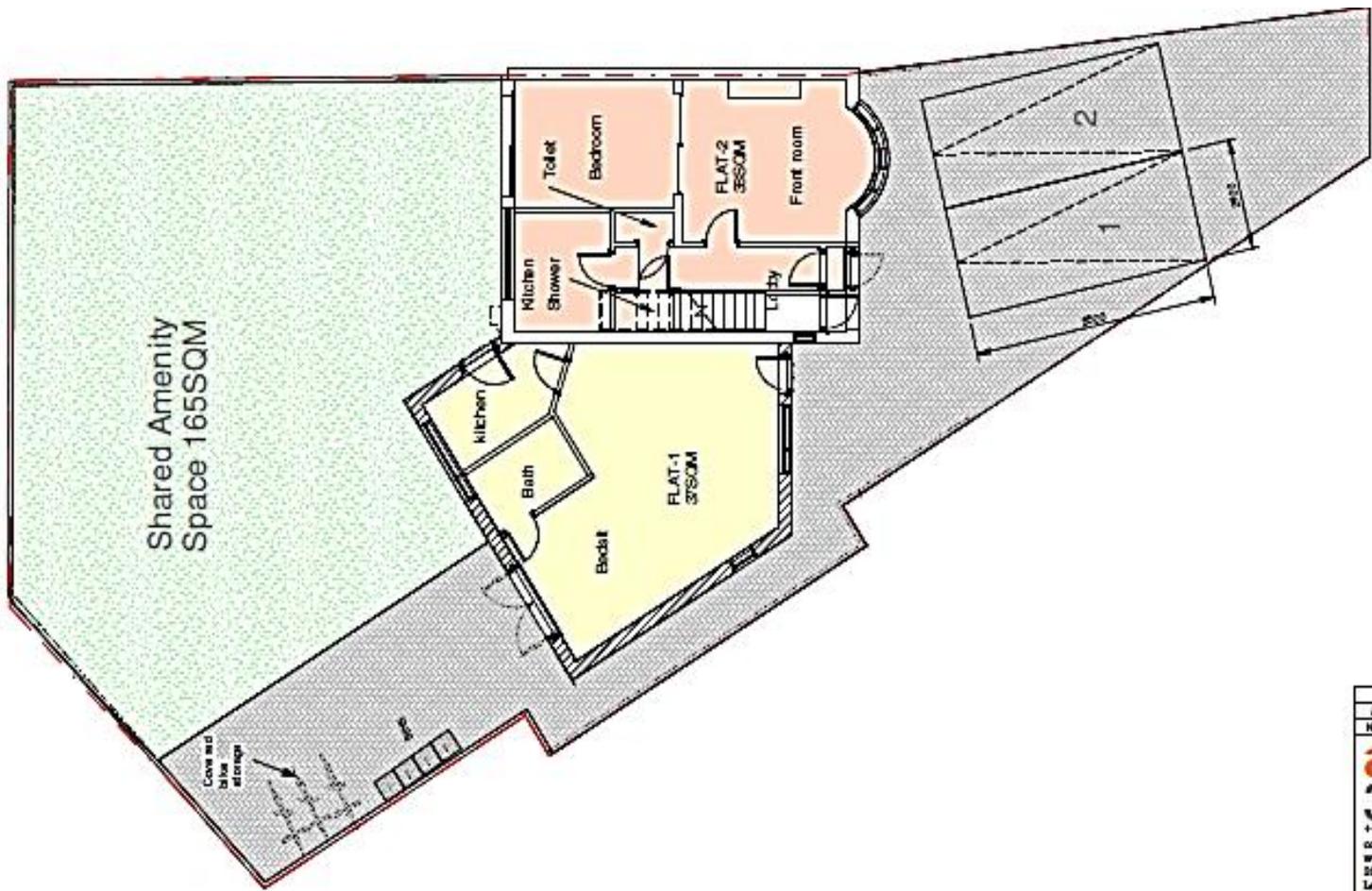


1 Existing First Floor Plan
1 : 100

A	First Issue
No.	
arc 365	
+447203399948	
contact@arc365.co.uk	
www.arc365.co.uk	

Existing first Floor plan

20220639
8 Brancaster Close



A	C
No.	
a:	
30	
+44756	
005662	
www.a	
30 City	
Leicester	
LE20 1JG	

Proposed ground Floor plan

20220639
8 Brancaster Close



1 Proposed First Floor Plan
1:100

KEY

GROUND FLOOR

FLAT - 1 (BEDSIT) 37.0m² ONE PERSON

FLAT - 2 (1 X BED) 38.0m² ONE PERSON

FIRST FLOOR

FLAT - 3 (BEDSIT) 37.0m² ONE PERSON

FLAT - 4 (1 X BED) 38.0m² ONE PERSON

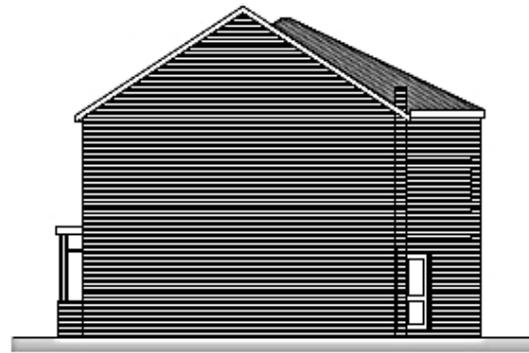
A	Print Issue
No.	
arc 365	
+447803366946	
osson@arc365.co.uk	
www.arc365.co.uk	
50 Ipswich Road	
Leicester	
LE3 1NA	
Project	
08 BRANCASTLE	
Drawing Title	

Proposed first floor plan

20220639
8 Brancaster Close



A
1 : 100



2 B
Area 1 : 100



C
1 : 100



4 D
Area 1 : 100

A	Plot name
No.	Doc.
arc hite	
365	
+447303399948	
connect@architects365.co.uk	
www.architects365.co.uk	
20 Lynton Road	
Liscombe	
LE15 1NA	
Project	
08 BRANCASTER CLOSE	
Drawing Title	
Existing Elevations	
Drawing No.	

Existing and proposed elevations

20220639
8 Brancaster Close

141 Upperton Road, Elms Park View

20220694

P&DCC 3rd August 2022





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20220694

141 Upperton Road, Elms Park View



20220694

141 Upperton Road, Elms Park View



20220694

141 Upperton Road, Elms Park View



20220694

141 Upperton Road, Elms Park View



20220694

141 Upperton Road, Elms Park View

PROPOSED DORMER WINDOW & INTERNAL ALTERATIONS
141, UPPERTON ROAD, LEICESTER
For - Mr P. BARRON



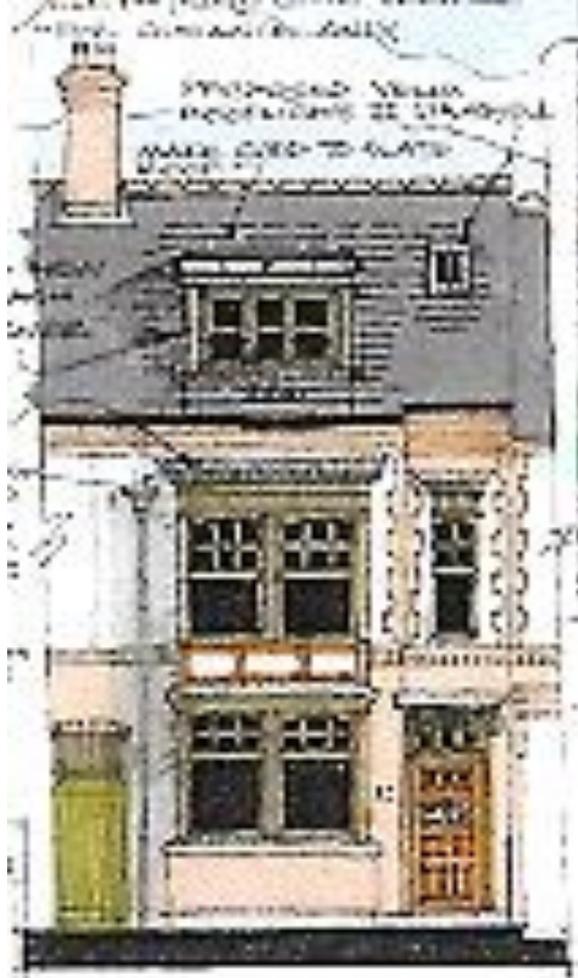
Drawn
Approved
To scale
15 Aug 14

GENERAL ARRANGEMENT DRAWING REFERENCE



Existing Floor plan

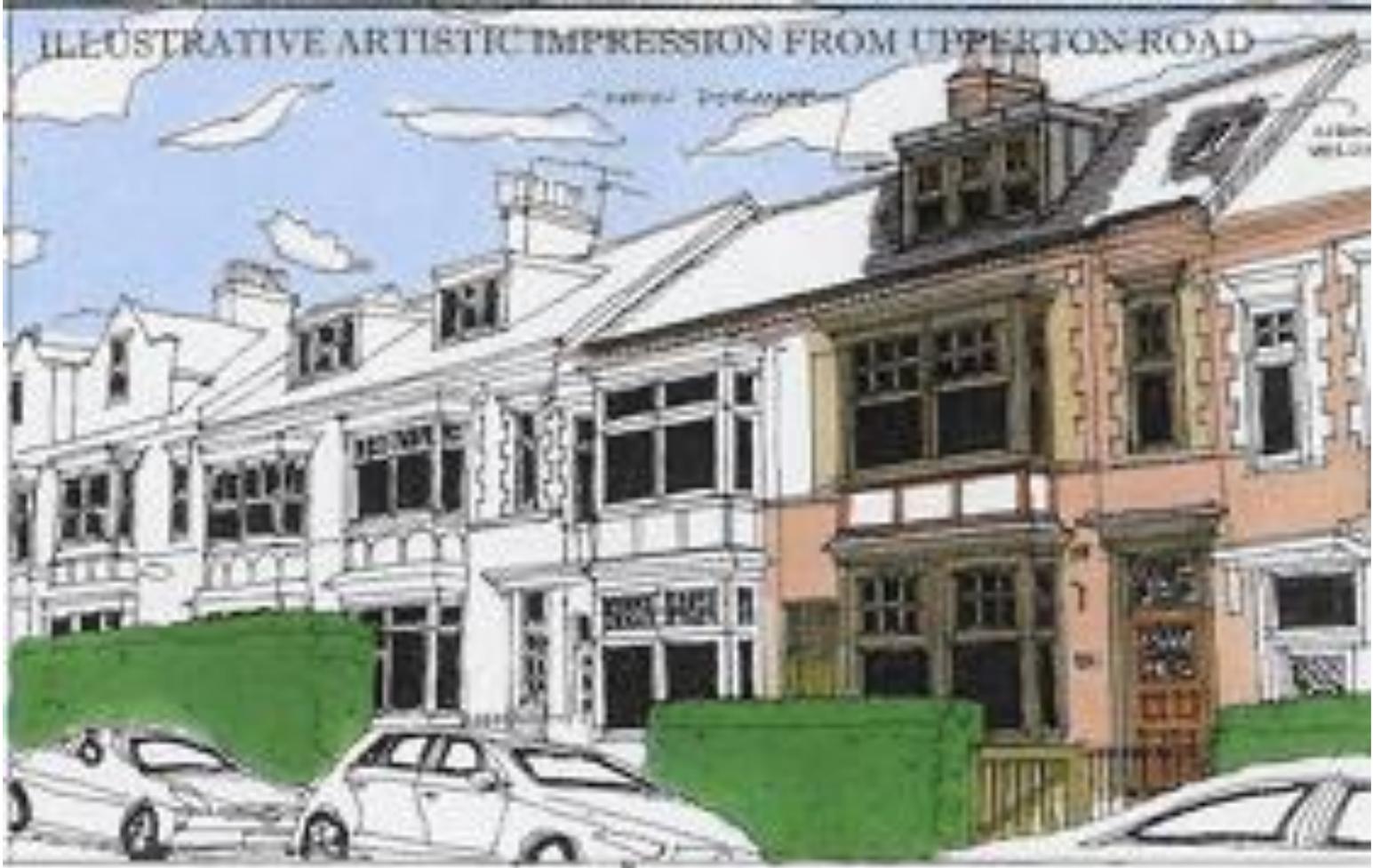
20220694
141 Upperton Road, Elms Park View



Front elevation

20220694
141 Upperton Road, Elms Park View

ILLUSTRATIVE ARTISTIC IMPRESSION FROM UPPERTON ROAD



20220694

141 Upperton Road, Elms Park View

20220694

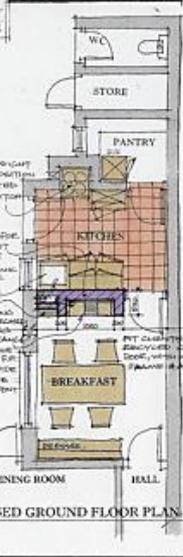
141 Upperton Road, Elms Park View



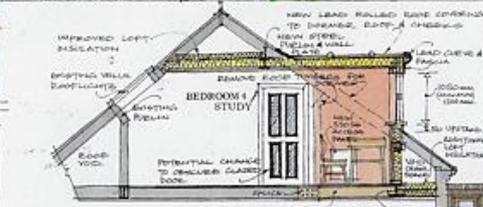
SITE LOCATION & CONTEXT PLAN - 1:4250



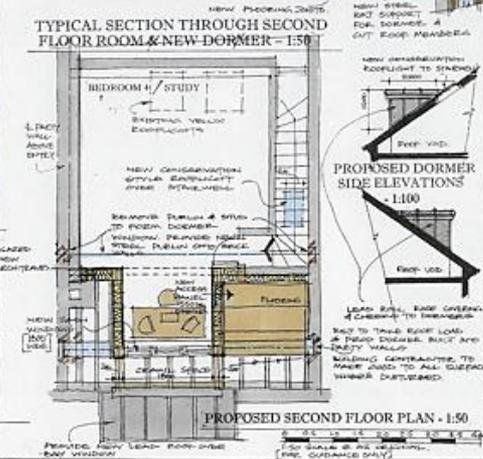
SITE LAYOUT PLAN - 1:800



PROPOSED GROUND FLOOR PLAN

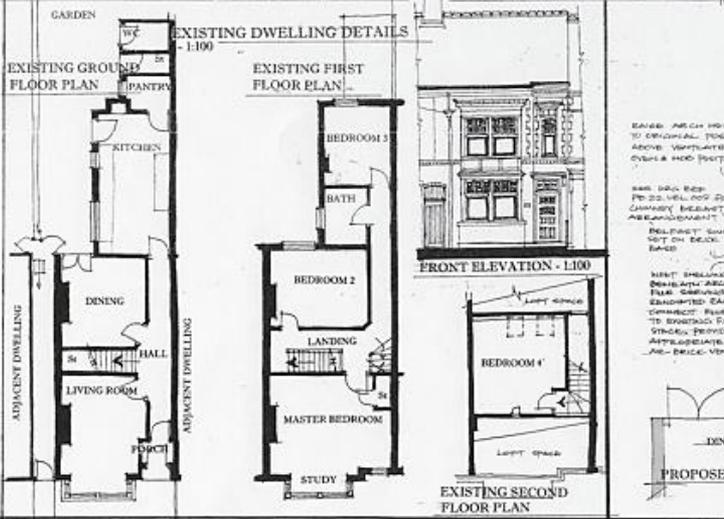
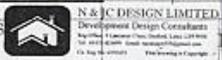


TYPICAL SECTION THROUGH SECOND FLOOR ROOM & NEW DORMER - 1:50



PROPOSED SECOND FLOOR PLAN - 1:50

PROPOSED DORMER WINDOW & INTERNAL ALTERATIONS
141, UPPERTON ROAD, LEICESTER
For - Mr P. BARRON
GENERAL ARRANGEMENT DRAWING REFERENCE - PR.22 URL.001



EXISTING DWELLING DETAILS - 1:100

FRONT ELEVATION - 1:100

EXISTING SECOND FLOOR PLAN